

HEALTH INFRASTRUCTURE

Review of Environmental Factors

*Goulburn Base Hospital,
130 Goldsmith Street, Goulburn
Building E – Aboriginal Health
Building V - Oncology*

Version Number 01



HI Planning Document Control

Version	Date	Author	Description	Reviewed by	Approved by
1	29/9/2022	LJB Urban Planning	REF Template Revision	XX	XX

Declaration

This Review of Environmental Factors (REF) has been prepared for Health Infrastructure (HI) and assesses the potential environmental impacts which could arise from the internal demolition, reconfiguration and fit-out of Building E for Aboriginal Health and Building V for Oncology at Goulburn Base Hospital.

This REF has been prepared in accordance with the relevant provisions of the *Environmental Planning and Assessment Act 1979* (EP&A Act), the *Environmental Planning and Assessment Regulation 2021* (EP&A Regulation) and *State Environmental Planning Policy (Transport and Infrastructure) 2021* (TISEPP).

This REF provides a true and fair review of the activity in relation to its likely impact on the environment. It addresses to the fullest extent possible, all the factors listed in section 171(2) of the EP&A Regulation and the *Commonwealth Environmental Protection and Biodiversity Conservation Act 1999* (EPBC ACT).

Based upon the information presented in this REF, it is concluded that, subject to adopting the recommended mitigation measures, it is unlikely there would be any significant environmental impacts associated with the activity. Consequently, an *Environmental Impact Statement* (EIS) is not required.

Declaration

Author:	Louise Meilak
Position:	Associate Planner
Company:	LJB Urban Planning ABN 73 123 529 564
Date:	29/9/2022

Document Management, Tracking and Revision History

Version	Date	Author	Description	Reviewed by	Approved by
Draft	29/9/2022	Louise Meilak	Review of Environmental Factors	Larissa Brennan	Larissa Brennan
Final					

Contents

1.	Introduction	10
	Proposal need and Alternatives	10
2.	Site Analysis and Description	11
	The Site and Locality	11
	Exisiting Development	11
	Site Considerations and Constraints	11
3.	Proposed Activity	13
	Proposal Overview	13
	Construction Activities	13
	Operational Activities	14
4.	Statutory Framework.....	15
	Activity Description under TISEPP	15
	Environmental Protection and Biodiversity Conservation Act 1999	15
	Environmental Planning and Assessment Act 1979.....	16
	Other NSW Legislation	16
5.	Consultation	19
6.	Environmental Assessment	20
	Environmental Planning and Assessment Regulation 2021 – Assessment Considerations.....	20
7.	Summary of Impacts	22
8.	Summary of Mitigation Measures	23
	Summary of Impacts.....	23
9.	Justification and Conclusion	24

Tables

Table 1: Alternatives considered for the Proposal.....	10
Table 2: Description of the site	11
Table 3: Section 10.7 Planning Certificate.....	12
Table 4: Project Timeframes and Construction Activities	13
Table 5: Description of proposed activities	15
Table 6: EPBC Checklist.....	15
Table 7: Matters for consideration under Sub-Section, Section 5.5 of the EP&A Act	16
Table 8: Other Possible Legislative Requirements.....	16
Table 9: Summary of Environmental Factors Reviewed in Relation to the Activity.....	20
Table 10: Summary of impacts relating to the activity	22

Appendices

Appendix	Description	Author	Rev/Ref/Date
A	Architectural Drawings	Silver Thomas Hanley	Revision G Proj No. 10516 27/05/22 (Aboriginal Health) Revision B Proj No. 10516 27/05/22 (Oncology)
B	Heritage Impact Statement	Perumal Murphy Alessi	Dated September 2022
C	Section 10.7 Planning Certificate	Goulburn Mulwaree Council	PLAN/1681/2021 dated 30/06/21
D	Mitigation Measures	LJB Urban Planning	Dated 29.9.2022

Abbreviations

Abbreviation	Description
CMP	Construction Management Plan
EIS	Environmental Impact Statement
EPA	Environment Protection Authority
EP&A Act	Environmental Planning and Assessment Act 1979
EP&A Regulation	Environmental Planning and Assessment Regulation 2021
EPBC Act	Environment Protection and Biodiversity Conservation Act 1999
EPI	Environmental Planning Instrument
HI	Health Infrastructure
HIS	Heritage Impact Statement
LEP	Goulburn Mulwaree Local Environmental Plan 2009
LGA	Local Government Area
MNES	Matters of National Environmental Significance
REF	Review of Environmental Factors
SEPP	State Environmental Planning Policy
TISEPP	State Environmental Planning Policy (Transport and Infrastructure) 2021
WMS	Work Method Statement

Executive Summary

The Proposal

LJB Urban Planning Pty Ltd has been commissioned by Health Infrastructure to prepare a Review of Environmental Factors (REF) in support of the following works within the Goulburn Base Hospital, as follows:

- Internal demolition and removal of fixtures within part of ground floor Building E;
- Internal demolition and removal of fixtures and skylight within part of ground floor within Building V;
- Reconfiguration and fit-out of part of ground floor of Building E for use as Aboriginal health section;
- Reconfiguration and fit-out of part of ground floor of Building V for use as the Oncology health section; and
- Reinstatement of two south-east facing windows within Building V.

Need for the Proposal

The proposed works will enable the upgrade of part of Building E and V, at ground level, for use as Aboriginal Health and Oncology Unit, respectively, within the Goulburn hospital grounds. The proposed uses are defined as a continuing use within a health services facility.

The works are necessary to enable the much-needed upgrade of the hospital to meet the needs of staff and patients. As the works involve structural works, they cannot be undertaken as complying development.

The proposed works are detailed, for each building, below:

Building E – proposed use for Aboriginal Health

- internal demolition of walls and fixtures;
- internal reconfiguration and fit out to incorporate: meeting room, waiting room, kitchen, water closets, consult room, interview room and reinstatement of two windows on the south-eastern elevation.

Building V – proposed use for Oncology

- internal of walls and removal of a skylight on the roof;
- internal reconfiguration and use to incorporate the following: triage bays, staff station, consult rooms, interview room, meeting room, office, utility room, store general, one bed holding bay, cleaner's storeroom, beverage bay and water closets.

The proposed reconfiguration of these parts of the existing hospital building will not result in an increase in staff beyond what is anticipated at the site, as no additional floor space is proposed.

Building E is positioned adjacent to the circular driveway on Goldsmith Street, while Building V is positioned along the Clifford Street frontage. Majority of the works will be internal and as such will not be visible from the street.

No trees will be removed.

As outlined above, both Building E and V will provide a variety of spaces required by the Aboriginal Health and Oncology departments.

Majority of works will be internal, with the exception of the skylight to be removed and replacement windows within Building V and reinstatement of two windows on the south-eastern elevation of Building E. There will be no change to the height or building footprints or setbacks.

Overall, the existing buildings will remain insitu and will not appear visibly different when viewed from the public domain.

Proposal Objectives

The objectives of the works are as follows:

- *To enable the hospital to continue to meet the needs of the community;*
- *Provide for improved and upgraded facilities for both staff and patients;*
- *Improve clinical facilities; and*
- *To enable works to be completed in a timely manner with minimal environmental impact.*

Options Considered

No other options were considered as this REF relates to the fitout of existing areas within the hospital.

The reuse of the building and upgrade of the existing buildings within the Goulburn Base Hospital will ensure improved services and facilities are available for the future staff and patients in the community.

It is reasonable to reuse existing facilities rather than require the complete demolition and construction of a new building, this option is a cost effective way to ensure the best outcomes for the community.

Overall, the proposed works are appropriate and will not detrimentally affect the environment, as demonstrated in this report.

Site Details

The subject works are proposed to be undertaken within the Goulburn Base Hospital which is located at 130 Goldsmith Street, Goulburn. The hospital has secondary street frontages along Albert Street, Clifford Street and Faithful Street. The hospital occupies the entire block.

The property is legally described as Lot 100 DP 1247296.

The works, the subject of the REF, relate to the following buildings:

- Building E – adjacent to the horseshoe driveway on Goldsmith Street between the serenity space and kiosk; and
- Building V – adjacent to the renal dialysis building and bio-medical services building with frontage to Clifford Street.

The proposed works relate to the following:

1. Internal demolition and removal of fixtures within part of building E and V;
2. Removal of roof skylight within Building V;
3. Window replacement within Building V;
4. Reinstatement of two windows within Building E;
5. Internal reconfiguration and fit-out of Building E for use as Aboriginal Health; and
6. Internal reconfiguration and fit-out of Building V for use as Oncology unit.

The proposed architectural drawings are attached at Appendix A.

Planning Approval Pathway

This REF was prepared and submitted to Health Infrastructure. The assessment has confirmed that the works could be undertaken without consent subject to Mitigation Measures. As the works involve structural works, they cannot be undertaken as complying development.

All works are within the Goulburn Base Hospital and this review has been undertaken in accordance with Clause 2.6(1) of State Environmental Planning Policy (Transport and Infrastructure) 2021 (TISEPP).

Statutory Consultation

In accordance with Clause 2.62(2)(a) of *TISEPP*, notification is not required under Clause 2.61(1)(b) as the works relate to the restoration and replacement of accommodation.

Environmental Impacts

This REF has undertaken an assessment against the following planning controls and legislation:

- Environmental Planning and Assessment Act 1979
- Environmental Planning and Assessment Regulation 2000
- State Environmental Planning Policy (Transport and Infrastructure) 2021
- Goulburn Mulwaree Local Environmental Plan 2009

In addition, the REF considered the potential environmental issues that may arise from the proposed works including:

- Heritage
- BCA compliance
- Visual impact
- Air Quality
- Noise / Acoustic impacts
- Vehicular and pedestrian movements
- Soils and groundwater
- Flooding
- Contamination
- Waste Management
- Work Safety
- Impact on adjoining structures
- Social impacts

It has been determined in the REF assessment below, that the proposed environmental impacts will be minimal, the proposed demolition and restoration/replacement works can be undertaken safely and will not affect nearby heritage items.

The Heritage Impact Assessment, at Appendix B, has determined that the proposed works within Building E and V will have no adverse impact on the listed Goulburn Base Hospital central building and former pavilions (1887). In addition, the works are primarily internal with the restoration and replacement of windows not highly visible from the street. As such, there will be no adverse impact on the nearby Goulburn High School and overall will not affect the Goulburn City general heritage conservation area.

Majority of works will be internal and the facilities will relocate the Aboriginal Health and Oncology Units to Building E and V, respectively, from other sections of the hospital. This is a positive benefit to restore the existing buildings for continued health service facility uses.

The proposed works will not alter the height, building footprint or architectural design of the existing buildings, with exception of replacement and reinstatement of internal facing windows, which will not be highly visible when view from the public domain. Overall, the impacts will be minimal and there will be no privacy issue from the window reinstatement as it faces inwards towards existing hospital uses.

The works will have minimal impact on surrounding developments and will not result in any adverse visual impact subject to compliance with all mitigation measures that have been recommended in the report.

Justification and Conclusion

In consideration of the legislation and the potential environmental issues, this REF concludes that subject to the mitigation measures identified in Section 5 to this report, the proposed works will have no adverse environmental impact and are therefore appropriate development in accordance with Clause 2.61 of *TISEPP*.

1. Introduction

Health Infrastructure (HI) propose to undertake internal demolition of part of Building E and V followed by internal reconfiguration and fit-out for the future use as Aboriginal Health and Oncology units, respectively, (the proposal) at the Goulburn Hospital, located at 130 Goldsmith Street, Goulburn (the site) as part of their delivery of infrastructure solutions and services to support the healthcare needs of the NSW communities.

This Review of Environmental Factors (REF) has been prepared by LJB Urban Planning on behalf of HI to determine the environmental impacts of the proposed upgrade works for part of Building E and V at Goulburn Hospital. For the purposes of these works, HI is the proponent and the determining authority under Part 5 of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

The purpose of this REF is to describe the proposal, to document the likely impacts of the proposal on the environment and to detail protective measures to be implemented to mitigate impacts.

The description of the proposed works and associated environmental impacts have been undertaken in the context of section 171(2) of the Environmental Planning and Assessment Regulation 2021 (EP&A Regulation) and the Australian Government's *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act).

The assessment contained within the REF has been prepared having regard to:

- whether the proposed activity is likely to have a significant impact on the environment and therefore the necessity for an EIS to be prepared and approval to be sought from the Minister for Planning and Homes under Part 5.1 of the EP&A Act; and
- the potential for the proposal to significantly impact *Matters of National Environmental Significance* (MNES) on Commonwealth land and the need to make a referral to the Australian Government Department of Environment and Energy for a decision by the Commonwealth Minister for the Environment on whether assessment and approval is required under the EPBC Act.

The REF helps to fulfil the requirements of section 5.5 of the EP&A Act, which requires that HI examine, and take into account to the fullest extent possible, all matters affecting, or likely to affect, the environment by reason of the proposed activity.

Proposal need and Alternatives

An overview of the alternatives, and an identification of the preferred alternative, for the Proposal are provided within Table 1.

Table 1: Alternatives considered for the Proposal

Alternative description	Advantages and disadvantages	Preferred alternative
Not undertaking the works	Disadvantage would be not utilising existing hospital buildings and upgrading them for their continued use.	
Undertaking the fitout works	Advantage is the use of existing hospital floor space.	✓

2. Site Analysis and Description

The Site and Locality

Table 2: Description of the site

Site Description	
Address	130 Goldsmith Street, Goulburn
Legal Description	Lot 100 DP1257296
Site Area	39.5 hectares (approximately)
Frontages	<p>The site has four street frontages:</p> <ul style="list-style-type: none">• Goldsmith Street (Main Entry) – North-eastern• Albert Street – North-western• Clifford Street – South-western• Faithfull Street – South-eastern <p>Building E can be seen from Clifford Street</p> <p>Building V can be seen from Goldsmith Street</p>
Owners	Southern NSW Local Health District
Heritage	<p>The subject site is identified as a Heritage Item. The identified buildings are known as:</p> <ul style="list-style-type: none">• Central Building; and• Original 1887 Pavilions. <p>Both of the above buildings are also listed on the Section 170 Government Register and have been recognised by the National Trust of Australia (NSW).</p> <p>The site is also located within the Goulburn Residential Conservation Area (West Area).</p>

Existing Development

The main vehicular access to the main hospital, Emergency Department and main car park is directly off Goldsmith Street. Vehicular entrances are also located on Faithfull Street, Clifford Street and Albert Street.

The wider hospital site consists of varying buildings that are interspersed with internal roads, car parking areas and pathways. The recently constructed SSD hospital building is positioned towards the eastern corner of the site, while the south-eastern quarter of the site is occupied by the Chisholm Ross mental health centre.

The north-western quarter of the site contains the older hospital buildings, including the central building and original pavilion buildings, which are listed on the hospital's Section 170 register for their heritage significance. Building E is positioned amongst these buildings and the accompanying HIS, found at Appendix B has determined that there will be no adverse impact.

While Building V is located in the south-western quarter of the site. The existing Physiotherapy ward, positioned to the west of the site of the Bio Medical Services building and east of the Renal Dialysis unit, is proposed to be reconfigured and updated. Building V is visible from Clifford and southern section of Albert Street, with majority of works internal there will be no adverse impact. To the south of Building V is the hospital helipad and to the south-east of Building V is Chisholm Ross Centre.

Site Considerations and Constraints

Section 10.7 Planning Certificate No. PLAN/1681/2021 dated 30 June 2021 identifies that the site is located within the SP2 Infrastructure zone under Goulburn Mulwaree Local Environmental Plan 2009, and is provided at Appendix C.

Table 3: Section 10.7 Planning Certificate

Affectation	Yes	No
Critical habitat		✓
Conservation area	✓	
Item of environmental heritage	✓	
Affected by section 38 or 39 of the Coastal Management Act 2016 (CM Act)		✓
Proclaimed to be in a mine subsidence district		✓
Affected by a road widening or road realignment		✓
Affected by a planning agreement		✓
Affected by a policy that restricts development of land due to the likelihood of landslip		✓
Affected by bushfire, tidal inundation, subsidence, acid sulphate or any other risk		✓
Affected by any acquisition of land provision		✓
Biodiversity certified land or subject to any bio-banking agreement or property vegetation plan		✓
Significantly contaminated		✓
Subject to flood related development controls		✓

3. Proposed Activity

Proposal Overview

The works, the subject of this REF relate to the following works:

Building E

- Internal demolition of walls and fixtures;
- Internal reconfiguration and fit-out to include: meeting room, waiting area, kitchen, accessible water closet, consult room, interview room.
- External works include the reinstatement of two window openings on south-eastern elevation.
- This part of Building E will be utilised for Aboriginal Health services.

Building V

- Internal demolition of walls and fixtures;
- Removal of skylight on roof;
- Internal reconfiguration and fit-out to include: 7 triage bays, staff station, 3 consult rooms, interview room, meeting room, office, utility room, store general, 1 bed holding room with ensuite, clean storeroom, water closets (patient, staff and accessible) and beverage bay.
- This part of Building V will be utilised for Oncology.

The proposed works are being undertaken as part of the wider hospital redevelopment and HI is aiming to achieve upgrade works to re-use hospital assets to reduce costs and ensure that there are adequate health facilities for the growing population within the Goulburn-Mulwaree Council LGA.

The proposed architectural drawings are attached at Appendix A.

Construction Activities

The works are short term (approximately 4 Months).

Table 4: Project Timeframes and Construction Activities

Construction activity	Description
Commencement Date	August 2022
Work Duration/Methodology	Works will take approximately 4 months and will not be staged.
Work Hours and Duration/Construction	<p>The proposed hours of construction will be:</p> <ul style="list-style-type: none"> • Monday to Friday = 7am to 6pm; • Saturday = 8am to 1pm; and • Sunday/Public Holidays = No work. <p>These hours do not exceed Goulburn Mulwaree Council's Standard working hours.</p>
Ancillary Facilities	Workers will park within the hospital during construction works.
Plant Equipment	A list of all plant equipment shall be incorporated into the Work Method Statement (WMS).
Source and Quantity of Materials	To be incorporated into the WMS.
Traffic Management and Access	<p>Entry and departure of construction vehicles from the site will be restricted to the imposed work hours.</p> <p>Safe pedestrian access to the hospital and surrounding building shall remain unimpeded at all times.</p> <p>Appropriate signage and directional information shall be provided.</p>

Operational Activities

Use

Building E

This building was formally used as an eye clinic. The proposed upgrade will be undertaken and the future use will be for Aboriginal Health Care.

Building V

This building was formally used for physiotherapy. The proposed upgrade will be undertaken and the future use will be for Oncology unit.

Operation Hours

Operation hours for Building E and V will be consistent with the existing hospital operating hours.

Staff / Patients

There will be no increase in staff or patients as a result of the works.

Traffic and Parking

The proposed works will essentially upgrade and reuse existing facilities that were located elsewhere onsite. There will be an increase in patients and or staff as a result of the works.

While works are undertaken there will be no significant effect on existing traffic and workers will be advised to park in nominated areas during construction works, to ensure that there is minimal impact to existing traffic network.

4. Statutory Framework

Activity Description under TISEPP

Section 4.1 of the EP&A Act states that if an EPI provides that development may be carried out without the need for development consent, a person may carry out the development, in accordance with the EPI, on land to which the provision applies. However, an environmental assessment of the development is required under Part 5 of the Act.

State Environmental Planning Policy (Transport and Infrastructure) 2021 (TISEPP) aims to facilitate the effective delivery of infrastructure across the State. Division 10 of the TISEPP outlines the approval requirements for health service facilities. A hospital is defined as a health service facility under this division.

The site is zoned SP2 Infrastructure under the *Goulburn Mulwaree Local Environmental Plan 2009* (LEP). The SP2 Infrastructure is a prescribed zone under the TISEPP.

Therefore, the proposal is considered an 'activity' for the purposes of Part 5 of the EP&A Act and is subject to an environmental assessment (REF). The proposal is considered an 'activity' in accordance with section 5.1 of the EP&A Act because the proposed works involve demolition, reconfiguration and fit-out works which are defined as the carrying out works, being consistent with the definition of activity and Clause 5.1 of the EP&A Act.

Under provisions of the TISEPP, the following activity is to be undertaken.

TISEPP consultation is discussed within section 6 of this REF.

Table 5: Description of proposed activities

Division and Section within TISEPP	Description of Works
Division 10 Section 2.61(1)(b)	The proposed works involve the restoration and replacement of accommodation and administration facility within an existing health services facility that will continue to be used for uses associated with a health services facility.

Environmental Protection and Biodiversity Conservation Act 1999

The provisions of the *Environmental Protection and Biodiversity Conservation Act 1999* (EPBC Act) do not affect the proposal as it is not development that takes place on or affects Commonwealth land or waters. Further, it is not development carried out by a Commonwealth agency, nor does the proposed development affect any matters of national significance. An assessment against the EPBC Act checklist is provided at Table 6 below.

Table 6: EPBC Checklist

Consideration	Yes/No
The activity will not have any significant impact on a declared World Heritage Property?	No
The activity will not have any significant impact on a National Heritage place?	No
The activity will not have any significant impact on a declared Ramsar wetland?	No
The activity will not have any significant impact on Commonwealth listed threatened species or endangered community?	No
The activity will not have any significant impact on listed migratory species?	No
The activity does not involve nuclear actions?	No
The activity will not have any significant impact on Commonwealth marine areas?	No
The activity will not have any significant impact on Commonwealth land?	No
The activity does not relate to a water resource, a coal seam gas development or large coal mining development?	No

Environmental Planning and Assessment Act 1979

Duty to Consider Environmental Impact

Part 5 of the EP&A Act applies to activities that are permissible without consent and are generally carried out by a public authority. Activities under Part 5 of the EP&A Act are assessed and determined by a public authority, referred to as the determining authority. Health Infrastructure (HI) is a public authority and is the proponent and determining authority for the proposed works.

For the purpose of satisfying the objects of the EP&A Act relating to the protection and enhancement of the environment, a determining authority, in its consideration of an activity shall, notwithstanding any other provisions of the Act or the provisions of any other Act or of any instrument made under the EP&A Act or any other Act, examine and take into account to the fullest extent possible all matters affecting or likely to affect the environment by reason of that activity (refer to sub-section 1 of section 5.5 of the EP&A Act).

Section 171 of the EP&A Regulation defines the factors which must be considered when assessing the likely impact of an activity on the environment under Part 5 of the EP&A Act. Section 7.1 specifically responds to the factors for consideration under section 171.

Table 7 below demonstrates the effect of the proposed development activity on the matters listed for consideration in sub-section 3 of section 5.5 of the EP&A Act.

Table 7: Matters for consideration under Sub-Section, Section 5.5 of the EP&A Act

Matter for Consideration	Impacts of Activity
<p><i>Sub-section 3:</i></p> <p>Without limiting subsection 1, a determining authority shall consider the effect of any activity on any wilderness area (within the meaning of the <i>Wilderness Act 1987</i>) in the locality in which the activity is intended to be carried on.</p>	<p>Proposed works will not involve any tree/vegetation removal with majority of the works being internal. The site is not identified as being located within any wilderness area.</p>
<p>Note: If a biobanking statement has been issued in respect of a development under Part 7A of the <i>Threatened Species Conservation Act 1995</i>, the determining authority is not required to consider the impact of the activity on biodiversity values.</p>	

Environmental Planning and Assessment Regulation 2021

Section 171(2) of the EP&A Regulation provides a list of factors that must be taken into account for an environmental assessment under Part 5 of the EP&A Act. These requirements are considered at section 7.1 of this REF.

Other NSW Legislation

The following table lists any additional legislation that is required to be considered if it is applicable to the proposed activity.

Table 8: Other Possible Legislative Requirements

Legislation	Comment	Relevant? Yes/No
State Legislation		
Rural Fires Act 1997	Is the site identified on the Bushfire Prone Land Map	No
Biodiversity Conservation Act 2016	Does the site contain any critical habitat, threatened species or ecological population or community?	No
Water Management Act 2000	Are the works within 40 metres of a watercourse?	No
Contaminated Land Management Act 1997	Is the site listed on the register of contaminated sites?	No
Heritage Act 1977	Any impacts on local or state or national heritage? If any assessment provided, note where.	Yes, refer to Appendix B for HIS and LEP assessment below in this table.

Legislation	Comment	Relevant? Yes/No
Roads Act 1993	Any works to a public road, or pumping of water onto a public road, or involve the connection of a road to a classified road?	No
Other Acts as required	Any other acts as required to be addressed?	No
State Environmental Planning Policies		
State Environmental Planning Policy (Planning Systems) 2021	Considerations include Local Aboriginal Land council ownership, State and Regional development considerations and concurrence.	
State Environmental Planning Policy (Biodiversity and Conservation) 2021	<p>Considerations include content of previous biodiversity and conservation SEPPs, including:</p> <ul style="list-style-type: none"> • Vegetation in Non-Rural Areas SEPP • Koala SEPP 2020 • Koala SEPP 2021 • Murray REP • SEPP 19 (Bushland in Urban Areas) • SEPP 50 (Canal Estate) • Water Catchment SEPP • Hawkesbury – Nepean SREP • Sydney Harbour SREP • Georges River REP • Willandra Lakes REP 	No – as there will be no removal of any trees or vegetation.
State Environmental Planning Policy (Resilience and Hazards) 2021	Contamination, hazardous materials/development coastal management	Yes
State Environmental Planning Policy (Transport and Infrastructure) 2021	Infrastructure SEPP provisions now located within this SEPP.	Yes
State Environmental Planning Policy (Industry and Employment) 2021	Signage and Western Sydney Employment SEPP provisions	No
State Environmental Planning Policy (Resources and Energy) 2021	Related to mining and extractive industries	No
State Environmental Planning Policy (Primary Production) 2021	Primary production and central coast plateau provisions	No
State Environmental Planning Policy (Precincts – Eastern Harbour City) 2021	<p>Is the site within an SSP that's located in the Eastern Harbour City, or did any of the following previously apply?</p> <ul style="list-style-type: none"> • Darling Harbour Development Plan No. 1 • SREP 26 – City West • SREP 16 – Walsh Bay • SREP 33 – Cooks Cove • SEPP 47 – Moore Park Showground 	No
State Environmental Planning Policy (Precincts – Central River City) 2021	<p>Is the site within an SSP that's located in the Central River City, or did any of the following previously apply?</p> <p>Sydney Region Growth Centres SEPP – (specific precincts)</p> <ul style="list-style-type: none"> • SREP 24 – Homebush Bay Area • Kurnell Peninsula SEPP • Urban Renewal SEPP 	No
State Environmental Planning Policy (Precincts – Western Parkland City) 2021	<p>Is the site within an SSP that's located in the Western Parkland City, or did any of the following previously apply?</p> <p>Sydney Region Growth Centres SEPP – (specific precincts)</p> <ul style="list-style-type: none"> • Western Sydney Aerotropolis SEPP • Penrith Lakes Scheme SEPP • SREP 30 – St Marys 	No

Legislation	Comment	Relevant? Yes/No
	<ul style="list-style-type: none"> Western Sydney Parkland SEPP 	
State Environmental Planning Policy (Precincts – Regional) 2021	<p>Is the site within an SSP that's located in a regional location, or did any of the following previously apply?</p> <p>State Significant Precincts SEPP – (specific sites)</p> <ul style="list-style-type: none"> Activation Precincts SEPP Kosciusko National Park SEPP Gosford SEPP 	No
Goulburn Mulwaree Local Environmental Plan 2009		
Zone	The site is zoned SP2 Infrastructure. The proposed works are associated with an existing and continuing health services facility, being the Goulburn Base hospital. The proposed works are permitted with consent under the LEP.	
Height of Buildings	8m maximum. All works are generally internal, the removal of the skylight and reinstatement and replacement of windows will not alter the existing height, as such the current height of Building E and V will remain as existing.	
Floor Space Ratio	No FSR control within the LEP. Notwithstanding, there will be no increase to the floor print of the building.	
Heritage	<p>Under the LEP the buildings within the subject site are identified as a heritage item:</p> <ul style="list-style-type: none"> <i>I345 – Goulburn Base Central Building and former Pavilions – 130 Goldsmith Street, Goulburn.</i> <p>The accompanying Heritage Impact Statement, found at Appendix B, has assessed the development and likely impact on the listed buildings within the hospital and concludes the following:</p> <p><i>The proposed Aboriginal Health and Oncology Unit are considered acceptable from a heritage point of view.</i></p> <p><i>The proposed works will have no more than a minimal impact on the affected areas and will have no adverse impact on the cultural significance of Goulburn Base Hospital.</i></p> <p>It is noted that Goulburn High, located to the west of the Hospital, is also listed and referred to as:</p> <ul style="list-style-type: none"> <i>I346 – 2-storey Edwardian building, Goulburn High School – 132 Goldsmith Street, Goulburn</i> <p>In addition, the site is located within the Goulburn City Conservation Area and is identified as “Conservation Area- General”.</p> <p>As discussed within the Heritage Impact Statement, at Appendix B, the proposed works will not have any adverse effects on buildings within the site, Buildings E and V are both suitably setback from the Goldsmith and Clifford Street frontages, respectively and will have no adverse effect on the significance of the heritage listed building within Goulburn High School.</p> <p>Majority of works are internal, as such there will be no impact on the conservation area.</p>	

5. Consultation

The proposed works are considered to fall within the category of 'restoration and replacement of accommodation and administration facility' and does not trigger the requirement of 21 day notification.

6. Environmental Assessment

Environmental Planning and Assessment Regulation 2021 – Assessment Considerations

The relevant assessment considerations under section 171 (2) of the EP&A Regulation 2021 are provided in **Table 9** below.

Table 9: Summary of Environmental Factors Reviewed in Relation to the Activity

Relevant Consideration	Response/Assessment		
a) Any environmental impact on a community	The proposed works are mainly internal within an existing hospital building and therefore will have no significant environmental impact on the community. During construction, a minor increase in trucks and construction operations may have a minor noise impact, however this will be minimal due to the scale of the works. The removal of a skylight and reinstatement and replacement of some external windows will not affect nearby properties due to the location of these external works and setback of both building E and V from Goldsmith and Clifford Streets, respectively.	-ve	
		Nil	✓
		+ve	
(b) Transformation of a locality	The locality will not be affected by the proposed works as most works are internal. The proposed works will provide for improved facilities and services.	-ve	
		Nil	
		+ve	✓
(c) Any environmental impact on the ecosystem of the locality	The works will be undertaken inside existing buildings, no ecosystems will be affected.	-ve	
		Nil	✓
		+ve	
d) Any reduction of the aesthetic, recreational, scientific or other environmental quality or value of a locality.	Majority of the works are internal and the reinstatement of windows on the south-eastern elevation for Building E and replacement of windows on the south-eastern elevation of Building V will face towards the middle of the hospital site and won't be highly visible from the street. Overall, the works will have no adverse impact on the locality.	-ve	
		Nil	✓
		+ve	
e) Any effect on locality, place or building having aesthetic, anthropological, archaeological, architectural, cultural, historical, scientific, or social significance or other special value for present or future generations.	Refer to HIS at Appendix B. The proposed works will have no impact on the heritage listed buildings on site, heritage listed buildings adjoining the site and no impact on the heritage conservation area. Majority of works are internal and the internal sections of Building E and V have been altered significantly throughout the years, that there are no items of heritage significance which require conserving. The external changes will also have no effect on the heritage significance of the site and adjoining properties.	-ve	
		Nil	
		+ve	✓
(f) Any impact on the habitat of protected fauna (within the meaning of the National Parks and Wildlife Act 1974)	No impact.	-ve	
		Nil	✓
		+ve	
(g) Any endangering of any species of animal, plant or other form of life, whether living on land, in water or in the air	No impact.	-ve	
		Nil	✓
		+ve	
(h) Any long term impacts on the environment	No long term impacts on the environment.	-ve	
		Nil	✓
		+ve	

Relevant Consideration	Response/Assessment		
(i) Any degradation of the quality of the environment	The proposed works will have no effect on the quality of the environment.	-ve	
		Nil	✓
		+ve	
j) Any risk of safety of the environment	The proposed works will not risk the safety of the environment.	-ve	
		Nil	✓
		+ve	
(k) Any reduction in the range of beneficial uses of the environment	No reduction in the range of beneficial uses. The works will upgrade existing services within Goulburn Base Hospital which will be a benefit to the surrounding community.	-ve	
		Nil	
		+ve	✓
(l) Any pollution of the environment	No long-term pollution of the environment will result from the proposed works. Temporary noise may occur during construction works, however, a mitigation measure is recommended to ensure all noise is within the limits of Council's requirements, when being undertaken.	-ve	
		Nil	✓
		+ve	
(m) Any environmental problems associated with the disposal of waste	All waste during demolition and construction works will need to be undertaken in accordance with a WMP. This will form a mitigation measure.	-ve	
		Nil	✓
		+ve	
n) Any increased demanded on resources (natural or otherwise) that are, or are likely to become, in short supply	The proposed works will not result in any increased demand in resources.	-ve	
		Nil	✓
		+ve	
(o) Any cumulative environmental effects with other existing or likely future activities.	The proposed works are minor in nature and will see existing facilities upgraded. This will have no significant cumulative impact for nearby construction activity, as works will only be undertaken in the short term, approximately 4 months.	-ve	
		Nil	✓
		+ve	
(p) Any impact on coastal processes and coastal hazards, including those under projected climate change conditions.	No impact, site is not positioned near coastal land.	-ve	
		Nil	✓
		+ve	
q) Applicable local strategic planning statements, regional strategic plans or district strategic plans made under the Act, Division 3.1	The proposed works are consistent with South East and Tablelands Regional Plan 2036 and the Goulburn Mulwaree Employment Land Strategy, as the works will improve the hospital facilities in line with the State Governments commitment to upgrading the Goulburn Base Hospital.	-ve	
		Nil	
		+ve	✓

7. Summary of Impacts

Any likely impacts relating to the proposed activity have been considered and are discussed in **Table 10** below. All issues relating to the project are largely minor and will not cause significant impact as a result of the proposed activity. All mitigation measures relating to the project are provided in Appendix D.

Table 10: Summary of impacts relating to the activity

Issue	Discussion
Heritage	<p>The site is identified as being a listed heritage item:</p> <p>Under the LEP the following buildings, within the wider Goulburn Base Hospital site, are listed:</p> <ul style="list-style-type: none"> <i>I345 – Goulburn Base Hospital Central Building and former Pavilions – 130 Goldsmith Street, Goulburn.</i> <p>The western half of the wider hospital site is listed and the proposed works are positioned within Building E and V, which are both located in the western half of the hospital site. .</p> <p>The accompanying Heritage Impact Statement, found at Appendix B, has assessed the development works and likely impact on the listed buildings within the hospital and concludes the following:</p> <p><i>The proposed Aboriginal Health and Oncology Unit are considered acceptable from a heritage point of view. The proposed works will have no more than a minimal impact on the affected areas and will have no adverse impact on the cultural significance of Goulburn Base Hospital.</i></p> <p>It is noted that Goulburn High, located to the west of the Hospital, is also listed and referred to as:</p> <ul style="list-style-type: none"> <i>I346 – 2-storey Edwardian building, Goulburn High School – 132 Goldsmith Street, Goulburn</i> <p>In addition, the site is located within the Goulburn City Conservation Area and is identified as “Conservation Area- General”.</p> <p>As discussed within the Heritage Impact Statement, at Appendix B, the proposed works will not have any adverse effects on the heritage significance of the buildings within the site and Buildings E and V are suitably setback from the Goldsmith and Clifford Street frontages, respectively and will have no adverse effect on the significance of the heritage listed building within Goulburn High School.</p> <p>In regard to the conservation area, there will be no impact as the building forms will remain as existing.</p>
Visual Impact	<p>There will be very little external change to Building E and V. The replacement of timber windows and reinstatement of an external window, face internally to the middle of the hospital, as such these changes will not be highly visible from Goldsmith Street and Clifford Street.</p> <p>Overall, the height and building footprints will remain as existing and there will be no adverse visual impact, particularly when viewed from the public domain.</p>

8. Summary of Mitigation Measures

Mitigation measures are to be implemented for the proposal to reduce impacts on the environment. The mitigation measures are provided at Appendix D.

Summary of Impacts

Based on the identification of potential issues, and an assessment of the nature and extent of the impacts of the proposed development, it is determined that:

- The extent and nature of potential impacts are low, and will not have significant adverse effects on the locality, community and the environment;
- Potential impacts can be appropriately mitigated or managed to ensure that there is minimal effect on the locality, community; and
- Given the above, it is determined that an EIS is not required for the proposed development activity.

9. Justification and Conclusion

The proposed demolition, reconfiguration and fit-out works for Building E and V, for the Aboriginal Health and Oncology units, respectively at Goulburn Base Hospital, located at 130 Goldsmith Street, Goulburn is subject to assessment under Part 5 of the EP&A Act. The REF has examined and taken into account to the fullest extent possible all matters affecting, or likely to affect, the environment by reason of the proposed activity.

As discussed in detail in this report, the proposal will not result in any significant or long-term impact. The potential impacts identified can be reasonably mitigated and where necessary managed through the adoption of suitable site practices and adherence to accepted industry standards.

As outlined in this REF, the proposed activity can be justified on the following grounds:

- It responds to an existing need within the community;
- It generally complies with, or is consistent with all relevant legislation, plans and policies;
- It has minimal environmental impacts; and
- Adequate mitigation measures have been proposed to address these impacts.

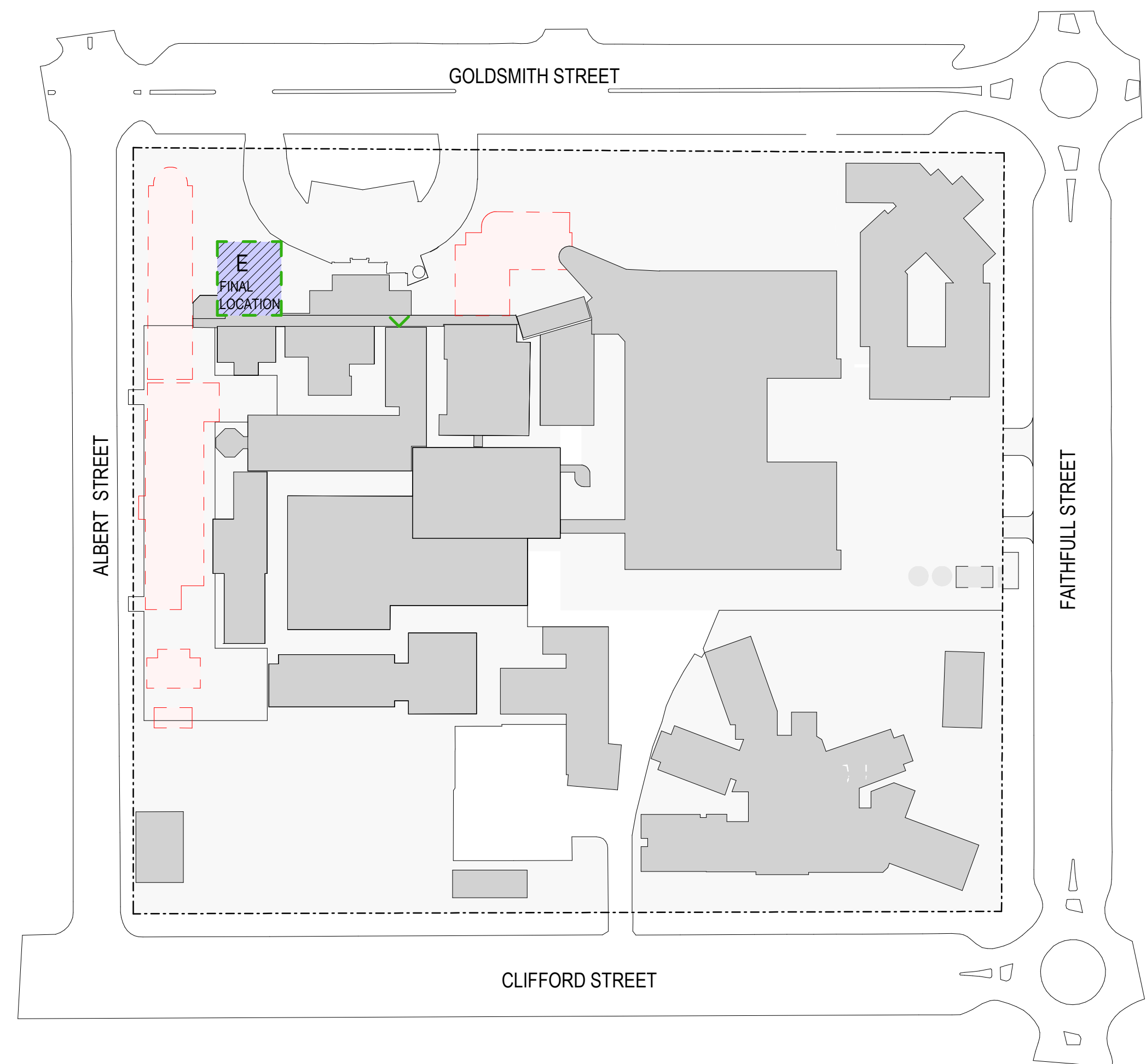
The environmental impacts of the proposal are not likely to be significant and therefore it is not necessary for an EIS to be prepared and approval to be sought for the proposal from the Minister for Planning under Part 5.1 of the EP&A Act. On this basis, it is recommended that HI determine the proposed activity in accordance with Part 5 of the EP&A Act and subject to the adoption and implementation of mitigation measures identified within this report.

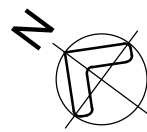
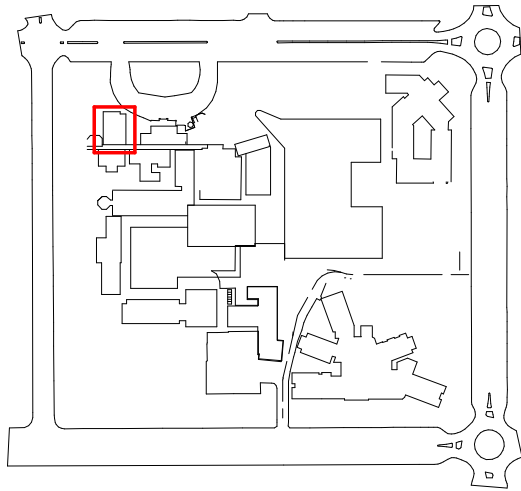
DESIGN DEVELOPMENT

ABORIGINAL HEALTH

BUILDING 'E', GROUND FLOOR

ABORIGINAL HEALTH - DRAWING LIST		
Sheet Number	Sheet Name	Current Revision
00-E1-01	COVER SHEET	G
12-E1-01	DEMOLITION PLAN	E
61-E1-01	FITOUT PLAN	E
62-E1-01	WAITING AREA	F
62-E1-02	CONSULT ROOM	F
62-E1-03	CONSULT ROOM	F
62-E1-04	KITCHEN	B
62-E1-05	MEETING ROOM	F
62-E1-06	MEETING ROOM	F
62-E1-07	MEETING ROOM	F
62-E1-09	CIRCULATION	F
62-E1-10	CIRCULATION	F
62-E1-11	CIRCULATION	F
62-E1-12	1.09.006 - ACC W	B
62-E1-13	INTERVIEW ROOM	B
65-E1-01	ABORIGINAL ENTRY @ CORRIDOR	C

[illegible]



REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION		18/08/2021
B	ISSUED FOR INFORMATION		17/09/2021
C	ISSUED FOR TENDER		15/11/2021
D	ISSUED FOR FINAL REVIEW	DP	20/05/2022
E	ISSUED FOR FINAL REVIEW	DP	27/05/2022

COPYRIGHT

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHTED AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

DIMENSIONS

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

FIXTURES, FITTINGS & EQUIPMENT SPECIFICATIONS

SUBSTITUTE FF&E EQUIPMENT SPECIFICATIONS

THE FIT-OUT DESIGN AND DOCUMENTATION HAS BEEN COMPLETED ON THE BASIS OF FF&E AND EQUIPMENT ADVISED TO THIS OFFICE AT THE TIME OF BRIEFING THE DESIGN. THE DESIGN PROVISIONS FOR FF&E AND EQUIPMENT INCORPORATES SPATIAL LOCATIONS, SERVICES, WIRING AND ACCESS CLUES TO THE FF&E EQUIPMENT AND ADHERES TO THE REQUIREMENTS OF THE DESIGN. THERE IS NO REGARD FOR SURROUNDING FIXTURES AND FITTINGS. IT SHOULD BE NOTED THAT SUBSTITUTE FF&E OR EQUIPMENT WITH ALTERNATE SPECIFICATIONS SHOULD NOT BE PROCURED PRIOR TO VALIDATING THOSE SPECIFICATIONS AGAINST THE ITEM CONTROL SCHEDULE AND DESIGN PROVISIONS IN THE MODE. THE OFFICE ACCEPTS NO RESPONSIBILITY FOR THE PROCUREMENT OF SUBSTITUTE FF&E AND EQUIPMENT WHICH HAS NOT BEEN REVIEWED AND VALIDATED AGAINST THE ORIGINAL DESIGN PROVISIONS.

SERVICE POINTS DISCLAIMER

THE SERVICE POINTS IDENTIFIED ON THESE DRAWINGS HAVE BEEN OVERLAYED FROM THE BUILDING SERVICES ENGINEERING MODEL, AND ARE PROVIDED FOR INFORMATION AND SET-OUT PURPOSES ONLY. WE HAVE BEEN ADVISED BY THE SERVICES ENGINEERS THAT THE POINTS REPRESENTED ON THESE DRAWINGS ARE CORRECT AT THE TIME OF PUBLICATION. THIS OFFICE DOES NOT WARRANT THE ACCURACY OF THIS DATA. REFER TO THE BUILDING SERVICES ENGINEERING DOCUMENTATION FOR THE INSTALLATION OF THE SERVICES POINTS, AND THE INTERFACE BETWEEN THE SERVICES POINTS AND THE RESPECTIVE ENGINEERING SYSTEMS.

ISSUED FOR INFORMATION

ARCHITECTS



ABN: 21 134 476 065
 PELACO COMPLEX, BUILDING 3, LEVEL 2
 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
 PH: (03) 9885 2333 FAX: (03) 9885 2455
 THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF
 SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065
 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT



Health
Infrastructure

PROJECT MANAGER

ROOT PARTNERSHIPS
Advisory+
Project Management

**Level 19, 9 Hunter Street,
Sydney NSW 2000**

PH: (02) 8272 9300

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

DRAWING TITLE

ABORIGINAL HEALTH DEMOLITION PLAN

SCALE _____ DATE _____ DRAWN BY _____ CHECKED _____

As indicated@A1	08/09/21	AB	PE
-----------------	----------	----	----

PROJECT No. _____ DRAWING No. _____ REVISION _____

10516 18483-STH-AR-DWG-12-E1-01

5

**CONTRATOR TO CROSS-CHECK AND COORDINATE ALL INFORMATION
RELATING TO SERVICES WITH THE RELEVANT SERVICES CONSULTANT
DOCUMENTATION**

ALL DOORS TO BE CHILDPROOF



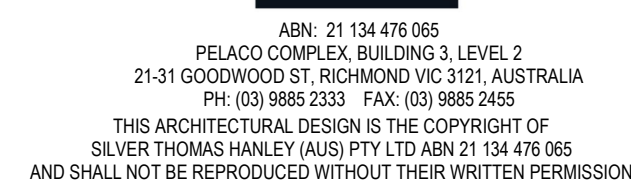
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHTED AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

SUBSTITUTE FF&E EQUIPMENT SPECIFICATIONS
THE FIT-OUT DESIGN AND DOCUMENTATION HAS BEEN COMPLETED ON THE BASIS OF
FF&E AND EQUIPMENT ADVISED TO THIS OFFICE AT THE TIME OF BRIEFING THE DESIGN.
THE DESIGN PROVISIONS FOR FF&E AND EQUIPMENT INCORPORATES SPATIAL
ALLOCATIONS, SERVICING, LOADING AND ACCESS CLEARANCES AND WHERE
APPLICABLE, SERVICE ACCESS DOORS, DOOR CLOSERS, DOOR SCHEDULES, SOUNDING
FIXTURES AND FITTINGS. IT SHOULD BE NOTED THAT SUBSTITUTE FF&E OR EQUIPMENT
WITH ALTERNATE SPECIFICATIONS SHOULD NOT BE PROCURED PRIOR TO VALIDATING
THOSE SPECIFICATIONS AGAINST THE ITEM CONTROL SCHEDULE AND DESIGN
PROVISIONS IN THE MODEL. THIS OFFICE ACCEPTS NO RESPONSIBILITY FOR THE
APPROPRIATENESS OF THE SUBSTITUTE FF&E AND EQUIPMENT. ANY SUCH
REVISIONS WILL BE REVIEWED AND VALIDATED AGAINST THE ORIGINAL DESIGN PROVISIONS.

THE SERVICE POINTS IDENTIFIED ON THESE DRAWINGS HAVE BEEN OVERLAYED FROM THE BUILDING SERVICES ENGINEERING MODEL AND ARE PROVIDED FOR INFORMATION AND SET-OUT PURPOSES ONLY. WE HAVE BEEN ADVISED BY THE SERVICES ENGINEER THAT THE POINTS REPRESENTED ON THESE DRAWINGS ARE CORRECT AT THE TIME OF PUBLICATION. THIS OFFICE DOES NOT WARRANT THE ACCURACY OF THIS DATA. REFERENCE TO THE BUILDING SERVICES ENGINEERING DOCUMENTATION FOR THE INSTALLATION OF THE SERVICES POINTS, AND THE INTERFACE BETWEEN THE SERVICES POINTS AND THE RESPECTIVE ENGINEERING SYSTEMS.

- ARCHITECTS



ROOT PARTNERSHIPS
Advisory+
Project Management

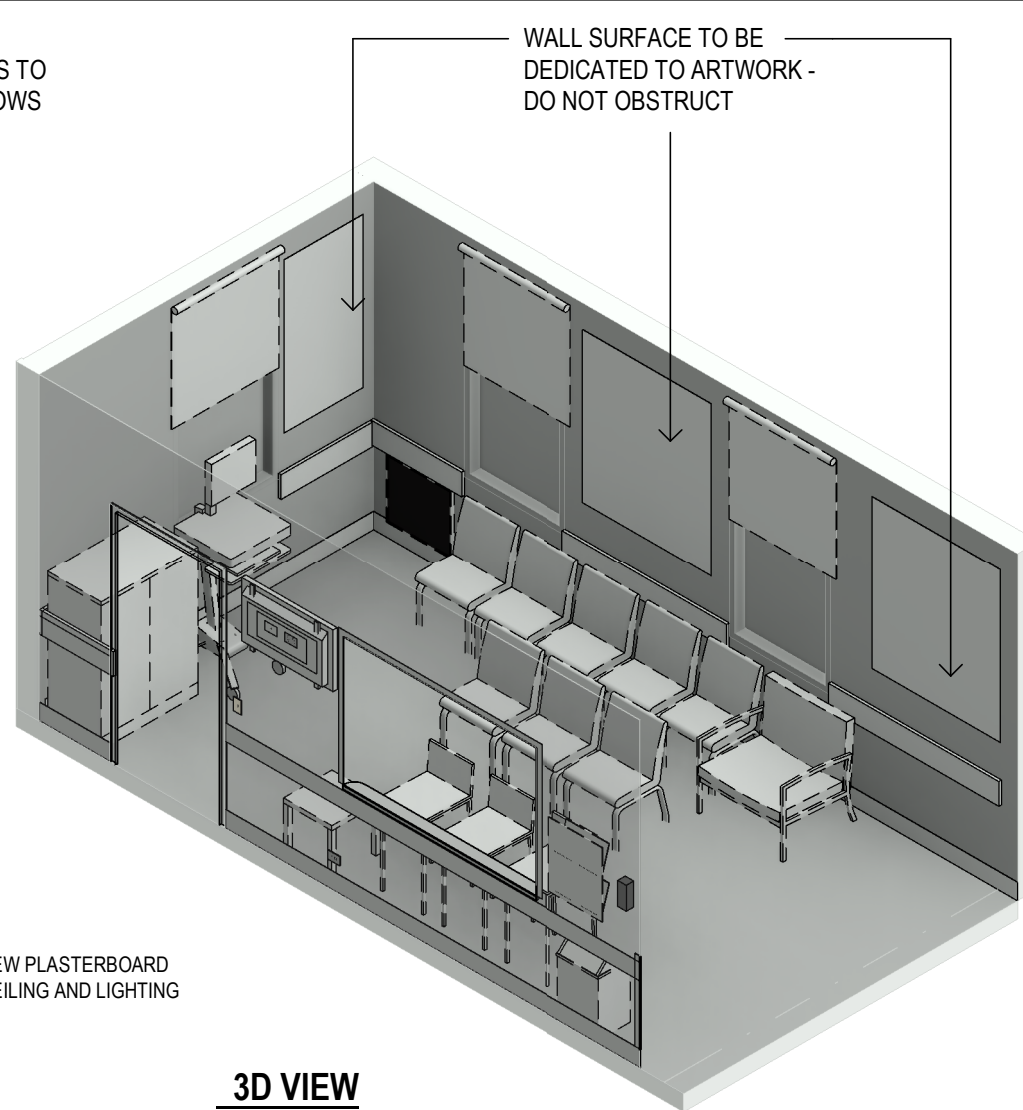
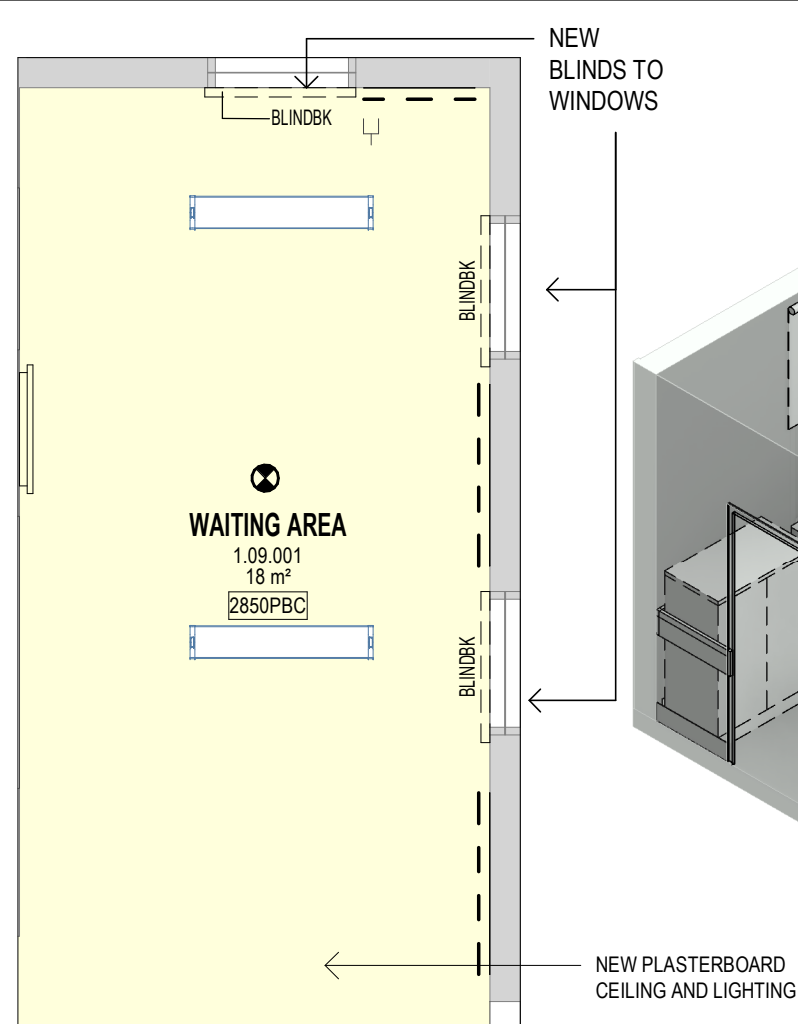
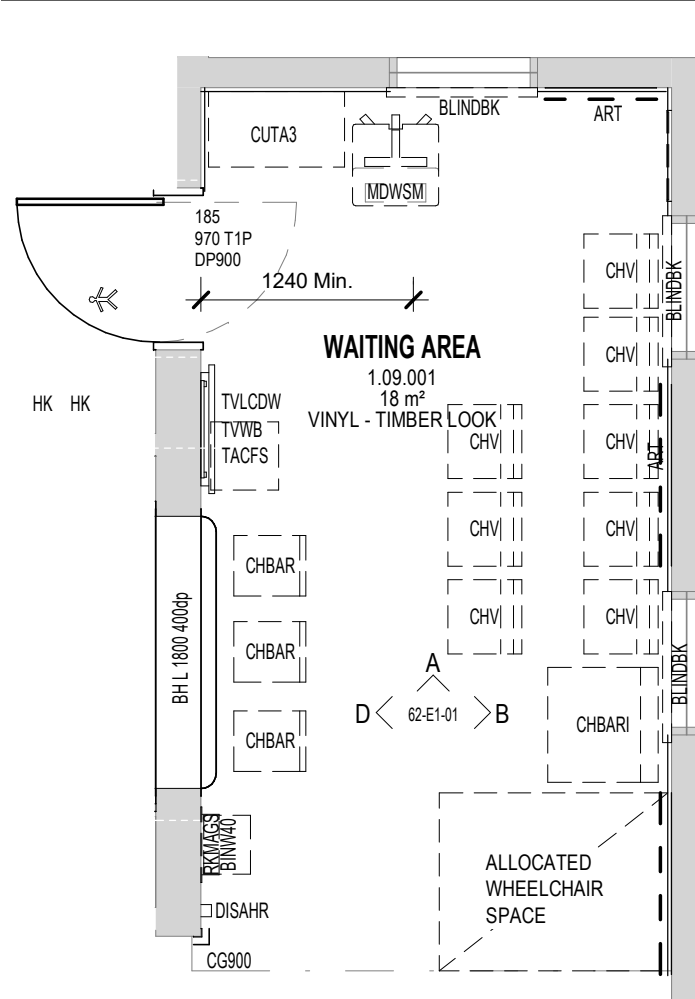
— DRAWING TITLE

SCALE _____ DATE _____ DRAWN BY _____ CHECKED _____
As 08/09/21 AB PE

ARM 360 // Galburn Hospital Final Works (SHEW BUILDING 420 m)





ABORIGINAL HEALTH CALCULATION				
Code	Room Name	Area	SOA Requirements	Comments
	WAITING AREA	18 m ²	10 m ²	
CONS	CONSULT ROOM	16 m ²	12 m ²	
MEET-L-30	MEETING ROOM	43 m ²	30 m ²	
	KITCHEN	9 m ²	0 m ²	
	ACC WC	8 m ²	4 m ²	
STGN-9	STORAGE	9 m ²	9 m ²	
Grand total		104 m ²	65 m ²	



RLS Item List -1.09.001- WAITING AREA			
Item Code	Description	Group	Count
BH L	BENCH HIGH LAMINATE FINISH	1	1
BLINDBK	BLIND - SINGLE ROLLER BLIND - BLACKOUT	1	3
CG900	CORNER GUARD 900 HIGH	1	1
EPO1	SINGLE POWER OUTLET	1	1
EPO2	DOUBLE POWER OUTLET	1	2
RKMAGS	RACK ▯ MAGAZINE, SMALL	1	1
TRSG	Door - Roller Shutter Grille	1	1
TVWB	BRACKET - TELEVISION WALL MOUNTED	1	1
WB1	WALL BUFFER SINGLE	1	6
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCDW	TELEVISION - TELEVISION LCD WALL MOUNTED	2	1
ART	ARTWORK PANEL	3	3
BINW40	Bin - Waste 40 Litre	3	1
CHBAR	CHAIR ▯ BAR STOOL	3	3
CHBARI	CHAIR - BARIATRIC	3	1
CHV	CHAIR - VISITOR	3	8
CUTA3	TALL CUP'D WITH TAMBOUR DOOR 1200H 900W 500D	3	1
MDWSM	MEDICAL DIAGNOSTIC EQUIPMENT -WORKSTATION MOBILE	3	1
TACFS	TABLE - SMALL COFFEE	3	1

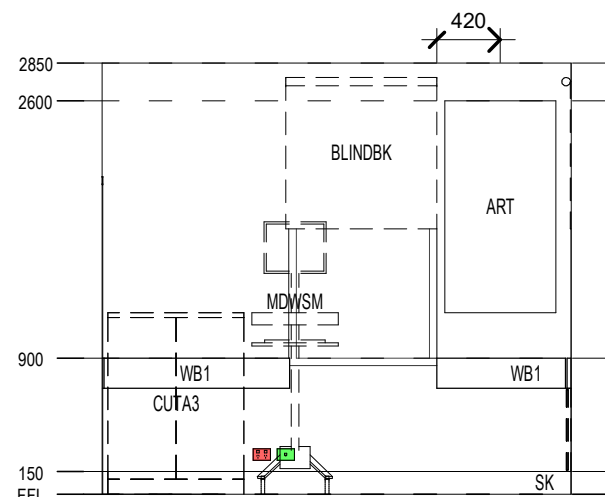
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

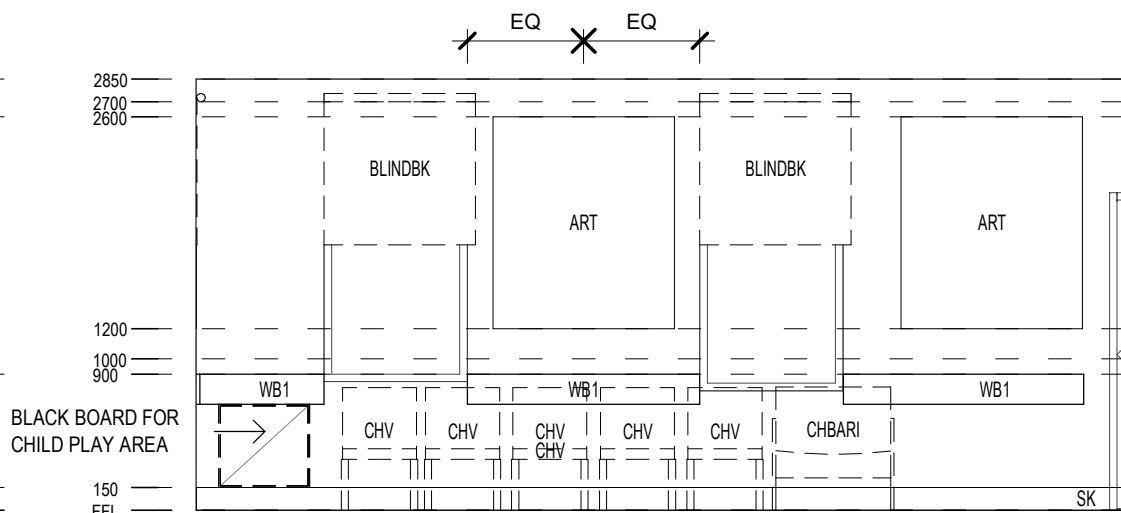
-  GENERAL POWER OUTLETS
 DATA OUTLETS

NOTE:

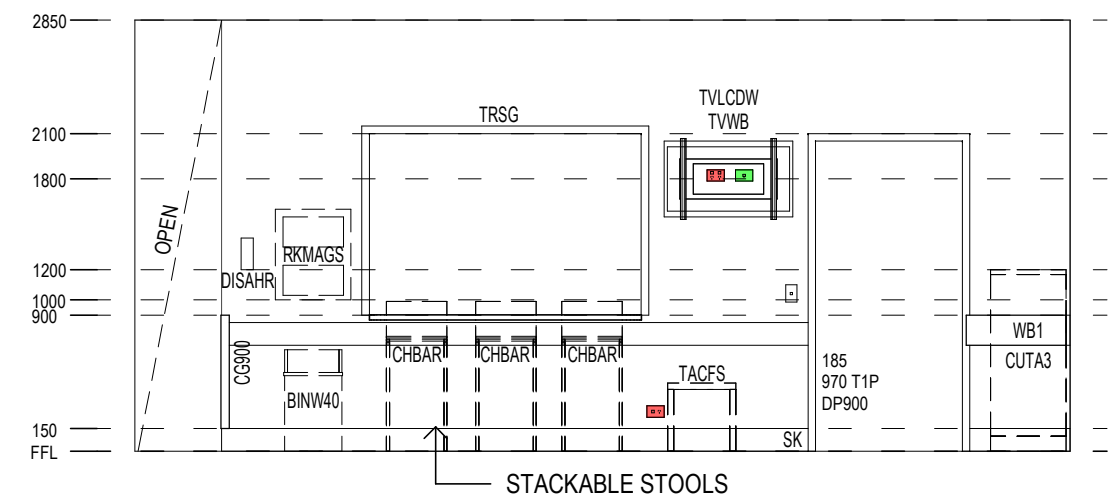
-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



A **201 - WAITING AREA**
SCALE: 1 : 50



B 201 - WAITING AREA
SCALE: 1 : 50



D **201 - WAITING AREA**
SCALE: 1 : 50

REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION		18/08/2021
B	ISSUED FOR INFORMATION		17/09/2021
C	ISSUED FOR TENDER		15/11/2021
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, **DO NOT SCALE**. CONTRACTORS MUST
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY
WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED
AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE
REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS
(GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING
PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE
PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE,
EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT
OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS
OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS
DISCLAIMER AND FF&E SPECIFICATION NOTES

- ARCHITECTS



ABN: 21 134 476 065
 PELACO COMPLEX, BUILDING 3, LEVEL 2
 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
 PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS
HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE
REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

- CLIENT



PROJECT

Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

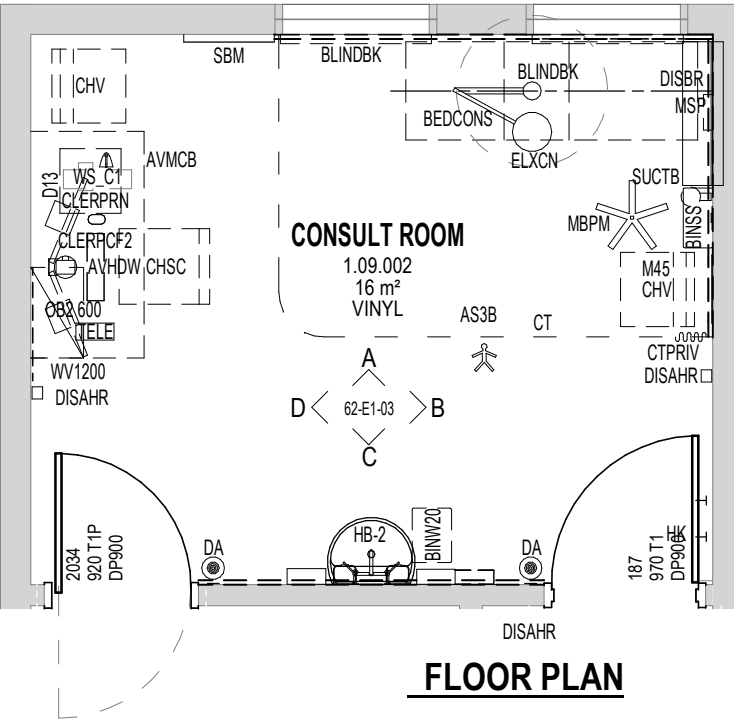
ISSUED FOR INFORMATION

— DRAWING TITLE

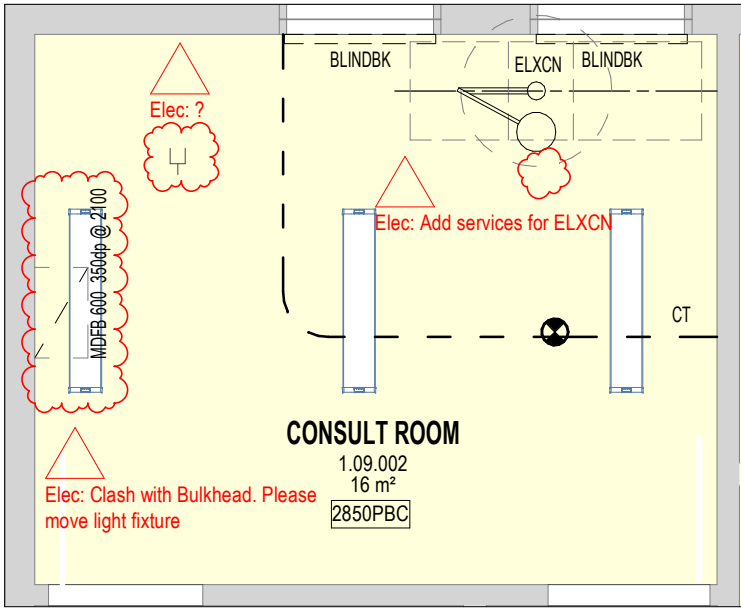
ROOM LAYOUT SHEET ABORIGINAL HEALTH WAITING AREA

SCALE 1:50@A3 DATE 08/09/21 DRAWN BY AB. ED CHECKED PE

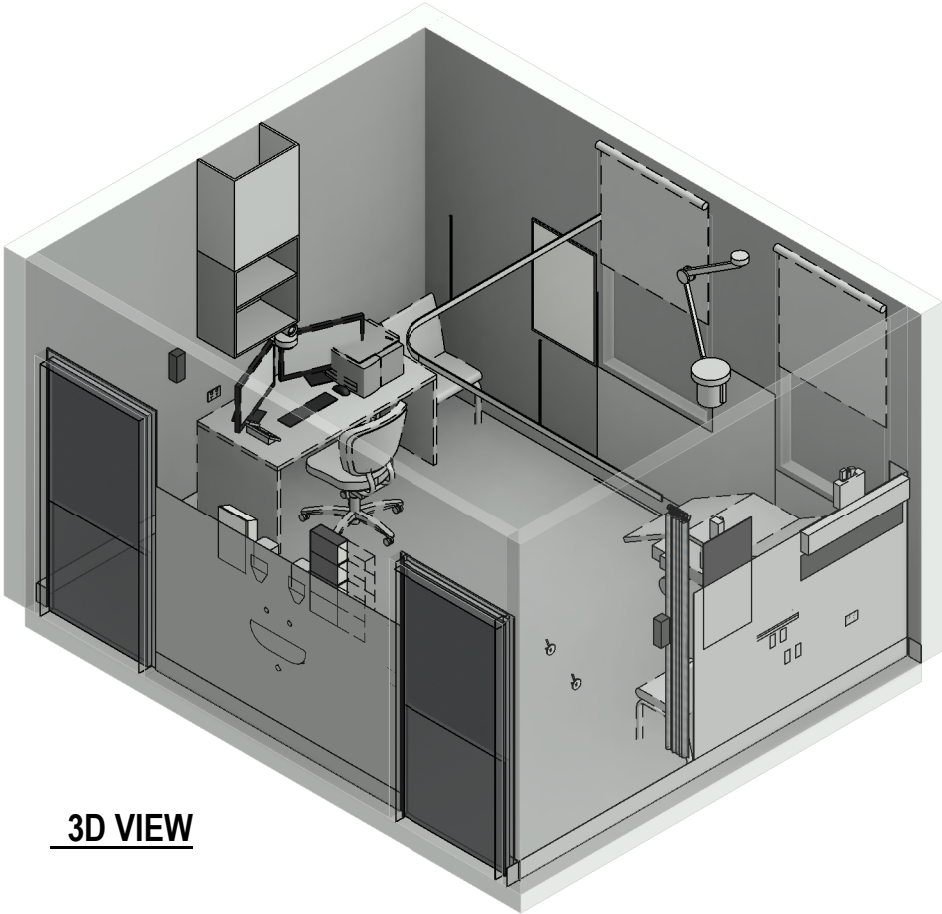
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-E1-01 REVISION F



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.09.002- CONSULT ROOM			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDBK	BLIND - SINGLE ROLLER BLIND - BLACKOUT	1	2
CT	Curtain Track - Removable Cassette Type	1	1
DA	DURESS ALARM	1	2
ELXCN	LIGHTING ▯ CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2	DOUBLE POWER OUTLET	1	4
HB2	Handwash Basin - Patient & Staff	1	1
HK	Hook - Hat & Coat - Standard	1	2
M45	MIRROR - 450W X 850H	1	1
MDFB	BULKHEAD - MDF	1	1
MSP	MEDICAL SERVICES PANEL	1	1
OB2 600	OB CUPBOARD - WITHOUT DOORS 700H 600W 350D	1	1
PLTW	PLUMBING - LEVER TAPS WALL MOUNTED	1	1
SBM	SPIRIT / WHITE BOARD MAGNETIC	1	1
SKCV	SKIRTING - COVED VINYL	1	1
T1	Door - Single Leaf	1	1
T1P	Door - Single Leaf Pivot	1	1
WP900	WALL PROTECTION 900 HIGH	1	1
WV1500	WALL VINYL 1500 HIGH	1	1
AVHDW	AUDIO VISUAL - HD CAMERA WALL MOUNTED	2	1
AVMCB	AUDIO VISUAL - MICROPHONE BENCH MOUNTED	2	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
BRKTS	BRACKET - SHARPS DISPOSAL, WALL MOUNTED	2	1

RLS Item List -1.09.002- CONSULT ROOM			
Item Code	Description	Group	Count
DISAD	Dispenser - Antiseptic	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	2
DISBR	Dispenser - Bed Roll	2	1
DISGD	DISPENSER - GLOVE - 4 SIZES	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
MDDIAG	DIAGNOSTIC EQUIPMENT - DIAGNOSTIC DISPENSER SET	2	1
BEDCONS	BED - CONSULTING ELECTRIC	3	1
BINSS	BIN - SHARPS DISPOSAL SMALL, WALL MOUNTED	3	1
BINW20	Bin - Waste 20 Litre	3	1
CHSC	CHAIR - STAFF CLERICAL ERGONOMIC MEDIUM BACK	3	1
CHV	CHAIR - VISITOR	3	2
CLERPCF2	CLERICAL - 2No. FLAT SCREENS AND PC	3	1
CLERPRN	CLERICAL - COMPUTER TERMINAL PRINTER - NETWORK (STATE)	3	1
CTPRIV	CURTAIN - PRIVACY SCREEN	3	1
D13	DESK - STANDARD, 1500 X 750	3	1
MBPM	MOBILE BLOOD PRESSURE MACHINE	3	1
SUCTB	SUCTION BOTTLE	3	1
TELE	TELEPHONE HANDSET - STANDARD	3	1
WS_C1	WORKSTATION - CPU HOLDER TYPE 1	3	1

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS


DATA OUTLETS


NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

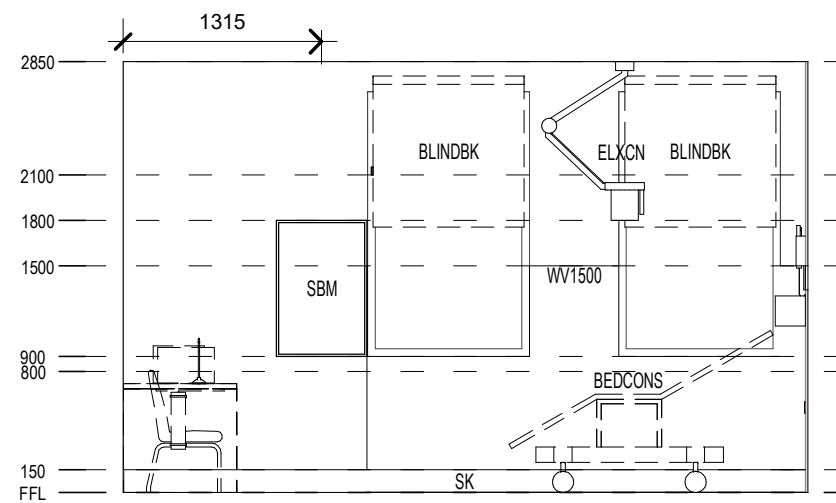
REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION		18/08/2021
B	ISSUED FOR INFORMATION		17/09/2021
C	ISSUED FOR TENDER		15/11/2021
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022
	SERVICE CLASH DETECTION		XXXXXX

DIMENSIONS	
USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

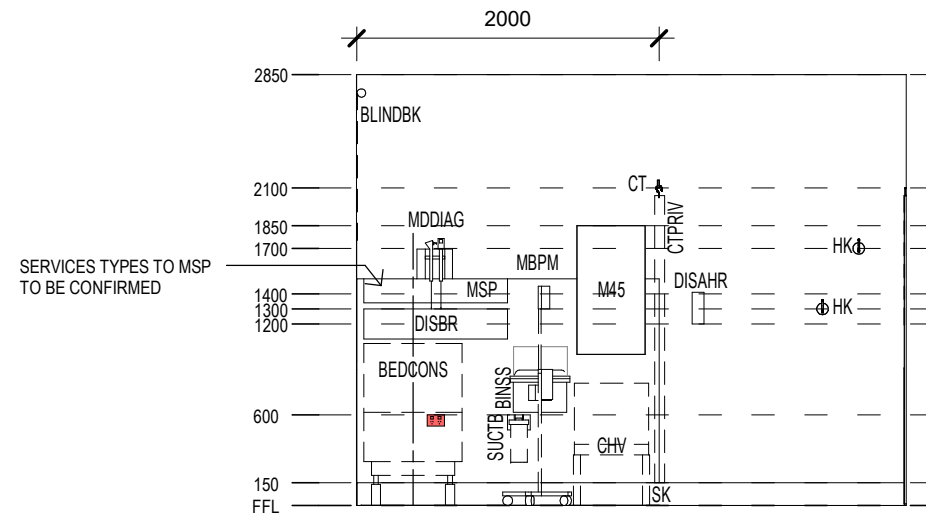
ARCHITECTS	
	
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	

CLIENT	
	
PROJECT	
Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	
ISSUED FOR INFORMATION	

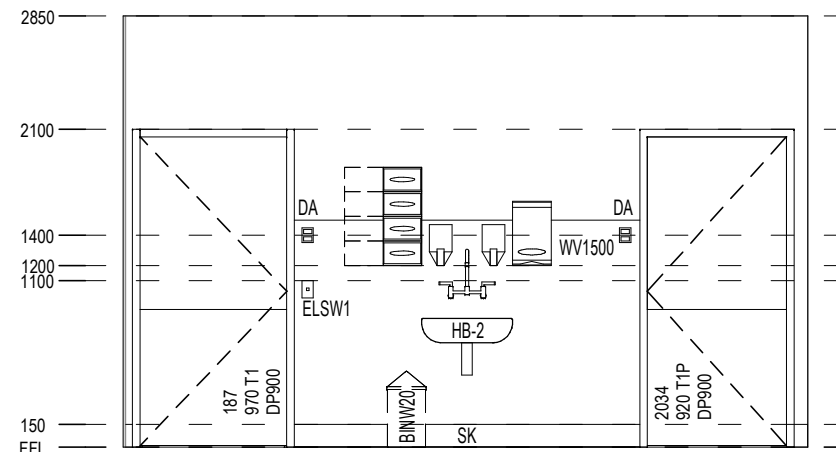
DRAWING TITLE			
ROOM LAYOUT SHEET ABORIGINAL HEALTH CONSULT ROOM			
SCALE 1 : 50@A3	DATE 08/09/21	DRAWN BY AB, ED	CHECKED PE
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-E1-02	REVISION F	



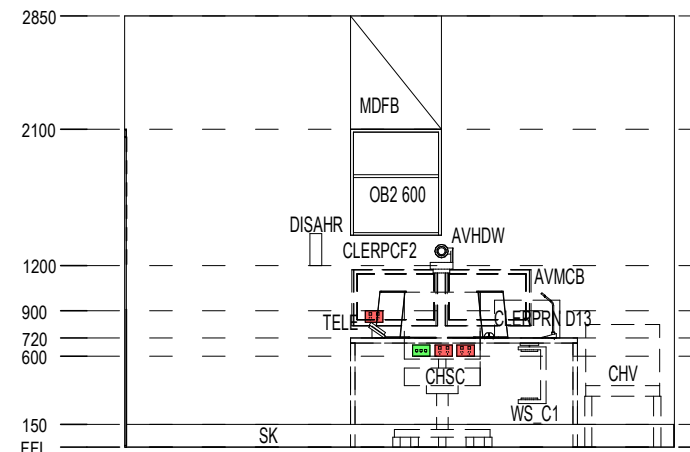
A **202 - CONSULT ROOM**
SCALE: 1 : 50



B **202 - CONSULT ROOM**
SCALE: 1 : 50



C 202 - CONSULT ROOM
SCALE: 1 : 50



D 202 - CONSULT ROOM
SCALE: 1 : 50

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

 GENERAL POWER OUTLETS

 DATA OUTLETS

NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.

) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.

) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.

) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.

) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION		18/08/2021
B	ISSUED FOR INFORMATION		17/09/2021
C	ISSUED FOR TENDER		15/11/2021
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS

**USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY
WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED
AND REVIEWED BEFORE MANUFACTURE.**

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE
REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS
(GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING
PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE
PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE,
EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT
OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS
OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS
DISCLAIMER AND FF&E SPECIFICATION NOTES

— ARCHITECTS



ABN: 21 134 476 065
 PELACO COMPLEX, BUILDING 3, LEVEL 2
 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
 PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS
HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE
REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

- CLIENT



PROJECT **Goulburn Hospital Final Works**

130 Goldsmith St, Goulburn NSW 2580

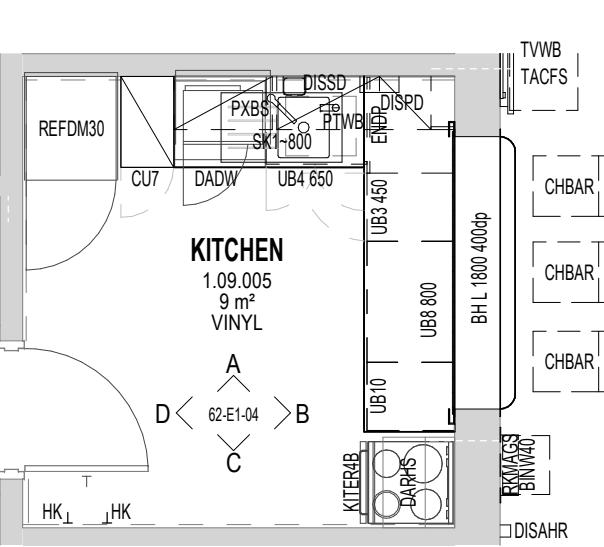
ISSUED FOR INFORMATION

— DRAWING TITLE

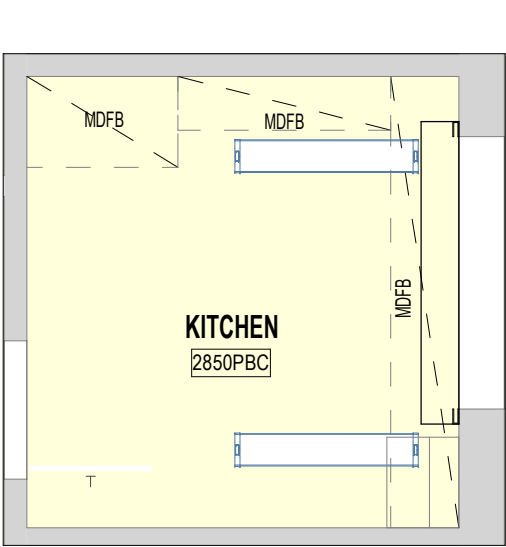
ROOM LAYOUT SHEET ABORIGINAL HEALTH CONSULT ROOM

SCALE 1:50@A3 DATE 08/09/21 DRAWN BY YL CHECKED DP

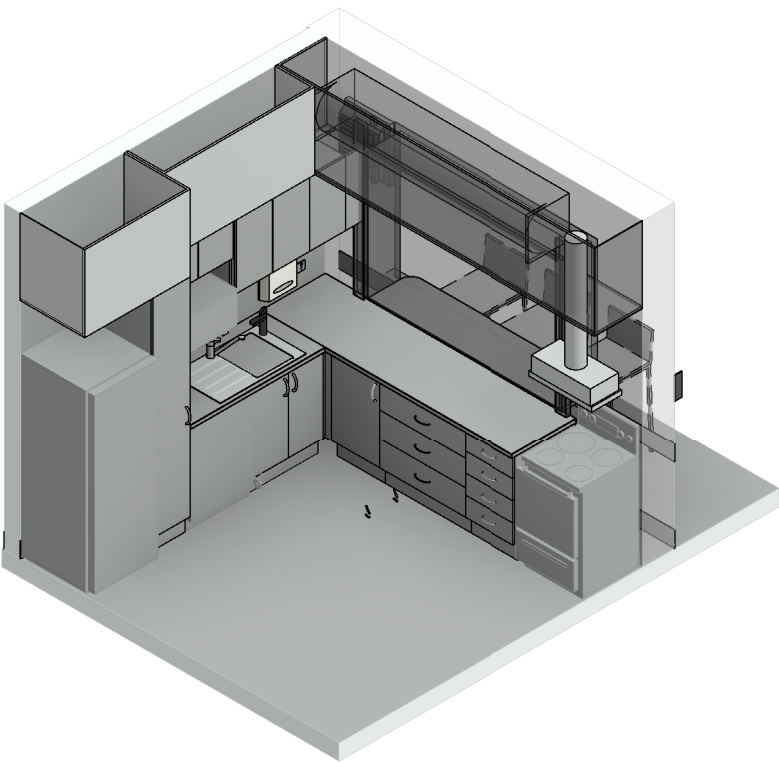
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-E1-03 REVISION F



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

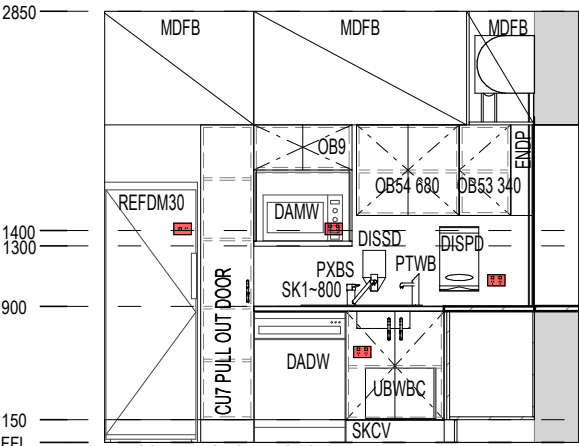
RLS Item List -1.09.005- KITCHEN			
Item Code	Description	Group	Count
B L	BENCH - LAMINATE FINISH	1	2
CU7	Tall Cup'd with PullOutDoors 350w	1	1
DADW	DOMESTIC APPLIANCE - UNDERBENCH DISHWASHER	1	1
ENDP	CASEWORK - END PANEL	1	3
EPO1	SINGLE POWER OUTLET	1	1
EPO2	DOUBLE POWER OUTLET	1	3
HK	Hook - Hat & Coat - Standard	1	3
MDFB	BULKHEAD - MDF	1	3
OB9	OB CUPBOARD - MICROWAVE CBD	1	1
OB53 340	OB CUPBOARD - WITH DOOR 600H 340W 350D	1	1
OB54 680	OB CUPBOARD - WITH DOORS 600H 680W 350D LOCKABLE	1	1
PTWB	PLUMBING - TEA TAP FOR WATER BOILERS/CHILLERS	1	1
PXBS	PLUMBING - FLICKMIXER BENCH MOUNTED FOR SINKS	1	1
SK1-800	SINK - SINGLE END BOWL SINK	1	1
SKA	SKIRTING - ALUMINIUM	1	2
T1	Door - Single Leaf	1	1
UB3 450	UB CUPBOARD WITH DOOR 450W	1	1
UB4 650	UB CUPBOARD WITH DOORS 650W	1	1
UB8 800	UB UNIT WITH 3 DRAWERS 800W	1	1
UB10	UB UNIT WITH 4 DRAWERS 450W	1	1
UBWBC	UNDER BENCH WATER BOILER AND CHILLER	1	1
DARHS	Domestic Appliance - Rangehood Slideout	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
KITER4B	Kitchen Equipment - Electric household range with four burner stove and oven	2	1
DAMW	DOMESTIC APPLIANCE - MICROWAVE OVEN	3	1
REFDM30	REFRIGERATOR - DOMESTIC 300L	3	1

SERVICES LEGEND

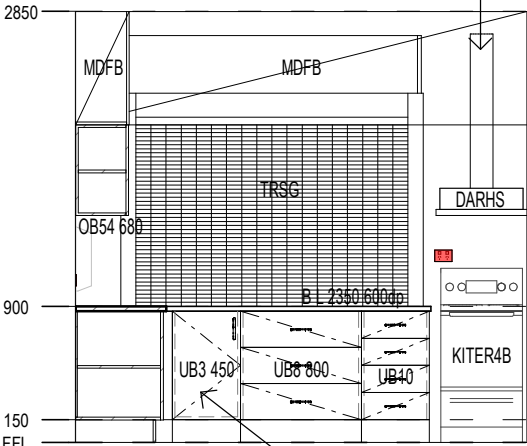
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

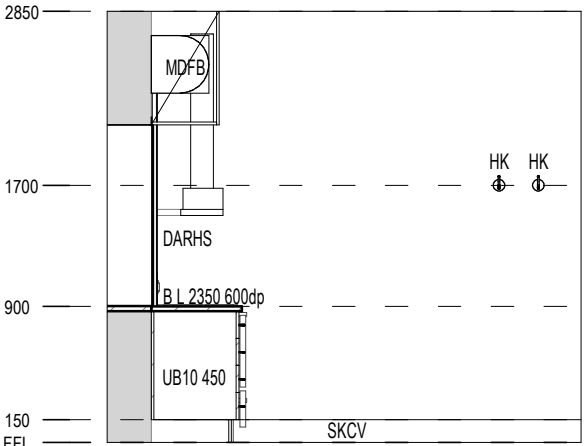
NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



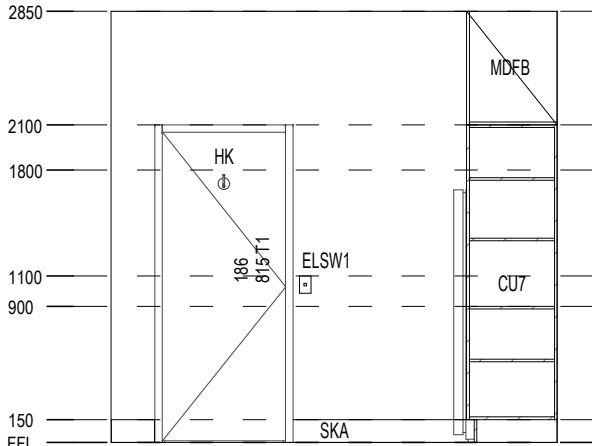
A KITCHEN
SCALE: 1 : 50



B KITCHEN
SCALE: 1 : 50



C KITCHEN
SCALE: 1 : 50



D KITCHEN
SCALE: 1 : 50

REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION		18/08/2021
B	ISSUED FOR INFORMATION		17/09/2021
C	ISSUED FOR TENDER		15/11/2021
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

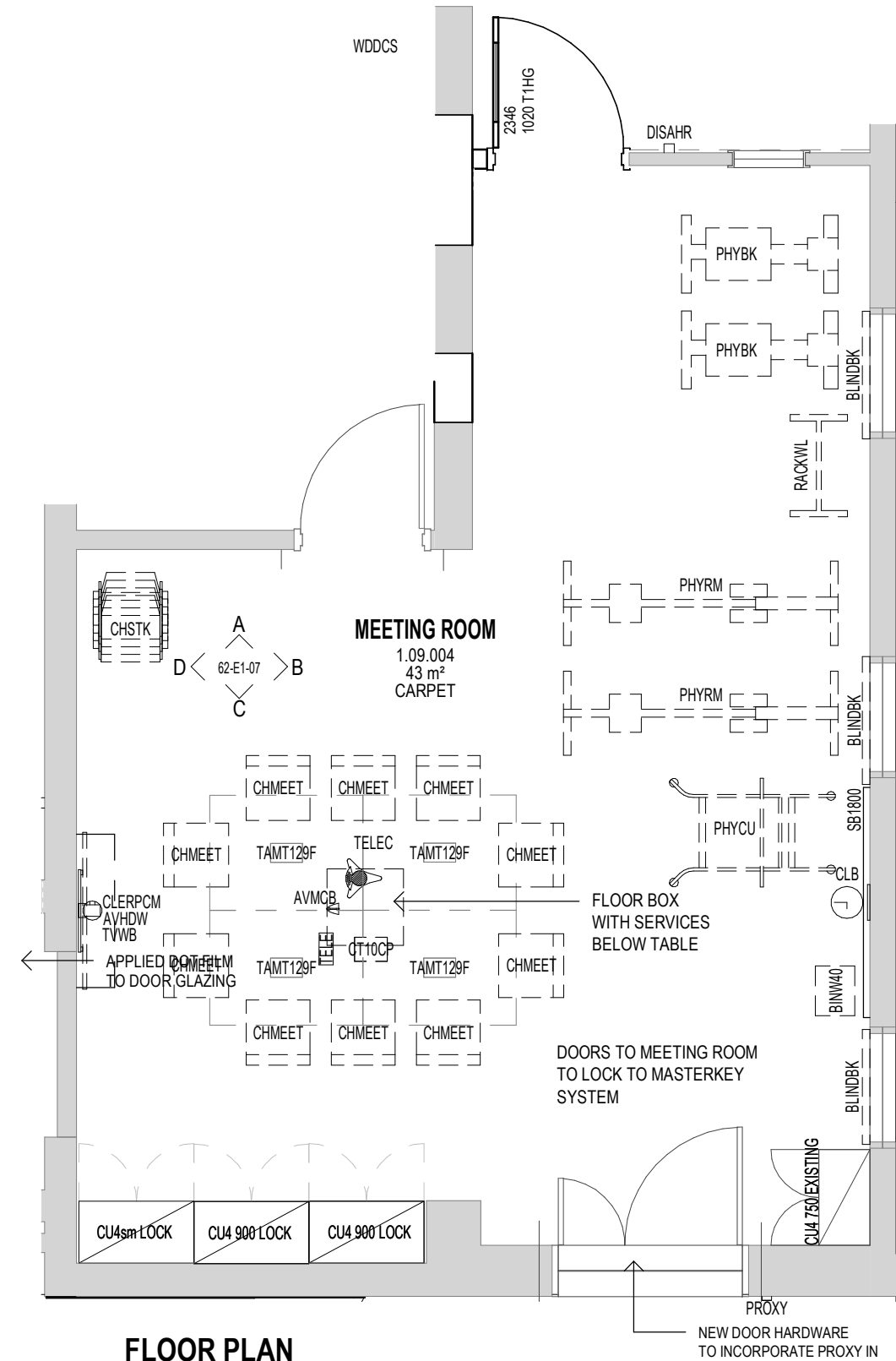
ISSUED FOR INFORMATION

DRAWING TITLE

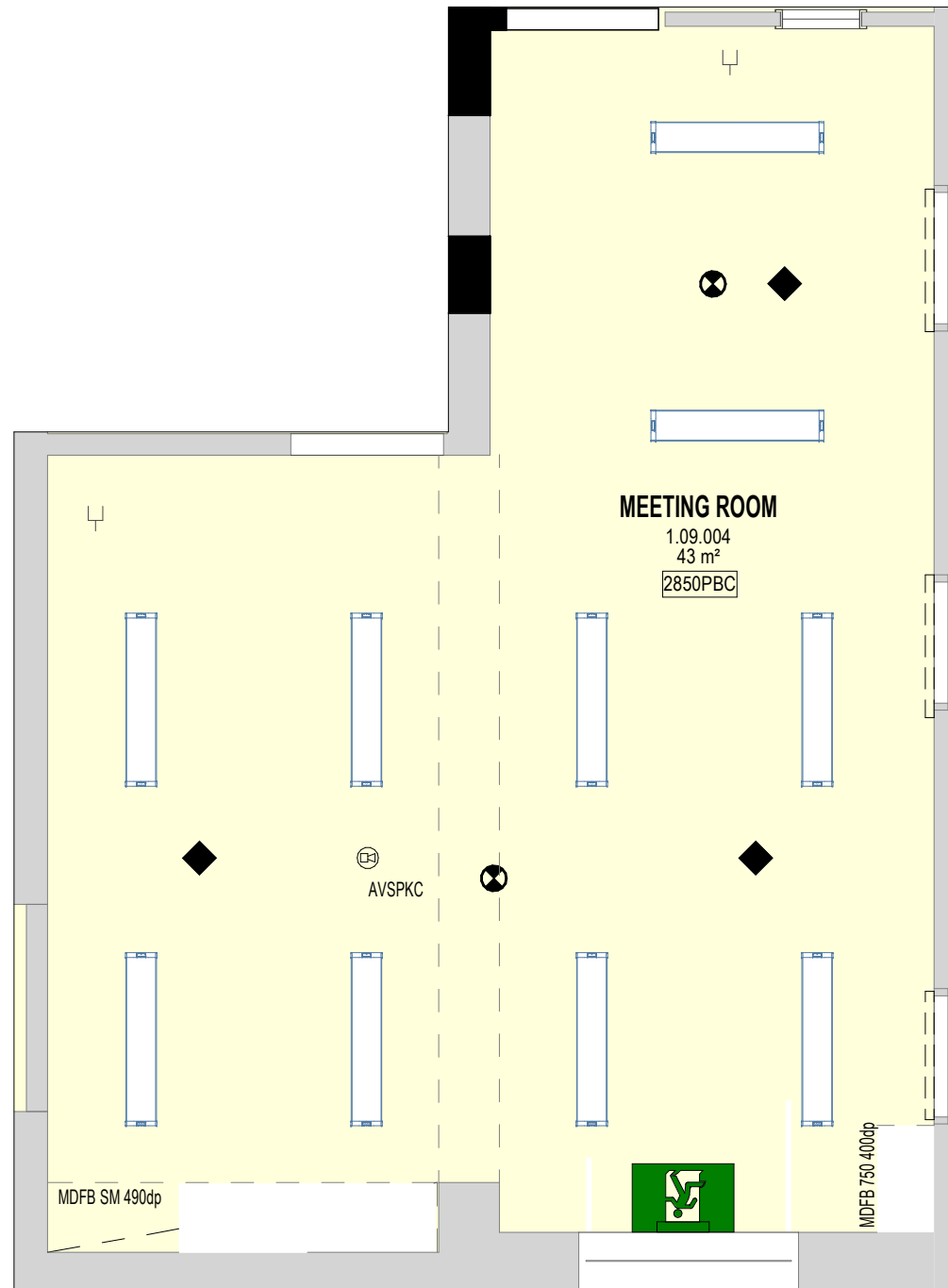
**ROOM LAYOUT SHEET
ABORIGINAL HEALTH
KITCHEN**

SCALE 1 : 50@A3 DATE 08/09/21 DRAWN BY YL CHECKED PE

PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-E1-04 REVISION F



FLOOR PLAN



REFLECTED CEILING PLAN

RLS Item List -1.09.004- MEETING ROOM			
Item Code	Description	Group	Count
BLINDBK	BLIND - SINGLE ROLLER BLIND - BLACKOUT	1	3
CLB	CLOCK - BATTERY, WALL MOUNTED	1	1
CU4 750	TALL CUP'D WITH DOORS æ 750W	1	1
CU4 900	TALL CUP'D WITH DOORS 900W	1	2
CU4sm	TALL CUP'D WITH DOORS SITE MEASURED	1	1
ELSW2	LIGHT SWITCH - TWO WAY	1	2
EPO2	DOUBLE POWER OUTLET	1	9
FLOORBOX	FLOOR BOX WITH SERVICES	1	1
MDFB	BULKHEAD - MDF	1	2
PROXY	PROXIMITY CARD ENTRY	1	1
SB1800	SPIRIT / WHITE BOARD - 1800 LONG	1	1
T3	Door - Cat and Kitten	1	1
TVWB	BRACKET - TELEVISION WALL MOUNTED	1	1
AVHDW	AUDIO VISUAL - HD CAMERA WALL MOUNTED	2	1
AVMCB	AUDIO VISUAL - MICROPHONE BENCH MOUNTED	2	1
AVSPKC	AUDIO VISUAL - SPEAKER CEILING MOUNTED	2	1
BC6	BOOKCASE -FREESTANDING WITHOUT DOORS TYPE 6	3	1
BINW40	Bin - Waste 40 Litre	3	1
CHMEET	CHAIR - MEETING	3	10
CHSTK	Stackable Chair	3	4
CLERPCM	CLERICAL -FLAT SCREEN MONITOR - 55 INCH	3	1
CT10CP	Control Pad - Cisco Touch	3	1
TAMT129F	TABLE -MEETING 1200X800 FOLDING	3	4
TELE	TELEPHONE HANDSET - STANDARD	3	1
TELEC	TELEPHONE - TELECONFERENCE	3	1
PHYBK	PHYSIOTHERAPY - EXERCISE BIKE	3T	2
PHYCU	Physiotherapy - Chin Up Station	3T	1
PHYRM	PHYSIOTHERAPY - ROWING MACHINE	3T	2
RACKWL	RACK - WEIGHTS LADDER	3T	1

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

DATA OUTLETS


NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

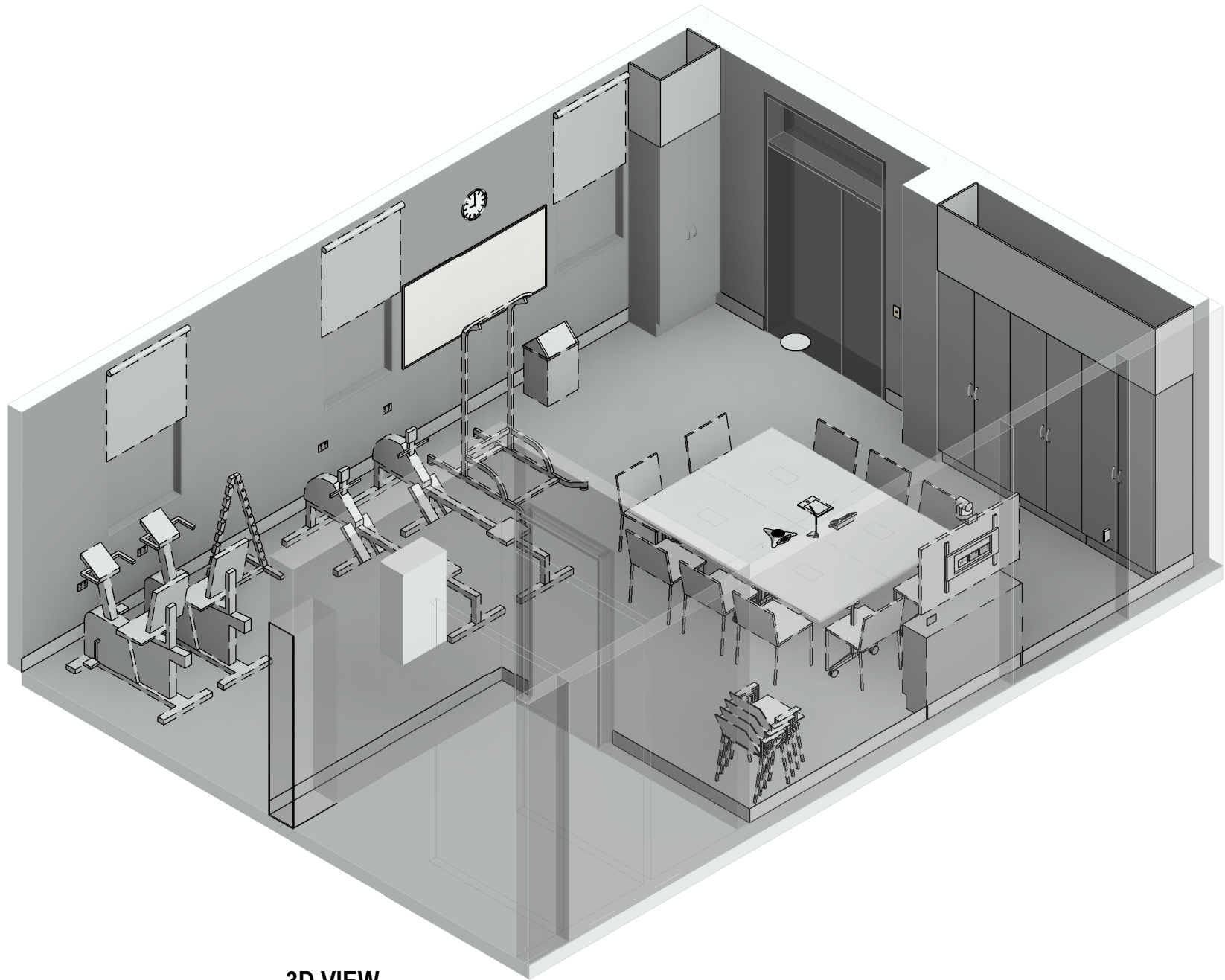
REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION		18/08/2021
B	ISSUED FOR INFORMATION		17/09/2021
C	ISSUED FOR TENDER		15/11/2021
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

ARCHITECTS
STH
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT	
PROJECT	Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580
ISSUED FOR INFORMATION	

DRAWING TITLE			
ROOM LAYOUT SHEET ABORIGINAL HEALTH MEETING ROOM			
SCALE 1 : 50@A3	DATE 08/09/21	DRAWN BY AB, ED	CHECKED PE
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-E1-05	REVISION F	




3D VIEW

REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION		18/08/2021
B	ISSUED FOR INFORMATION		17/09/2021
C	ISSUED FOR TENDER		15/11/2021
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.
COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES


ARCHITECTS



ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT



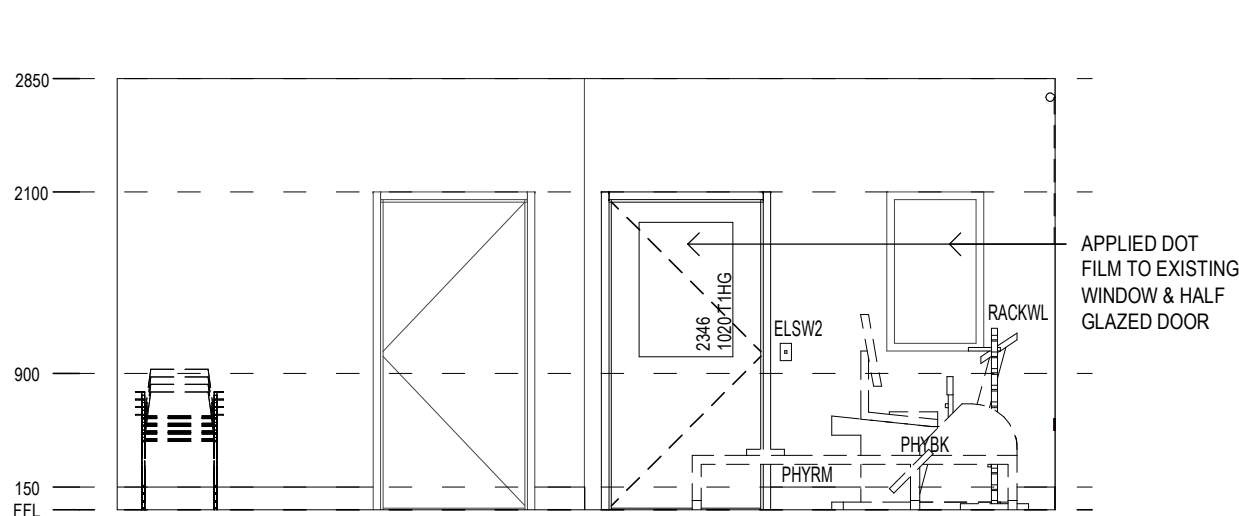
PROJECT
Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

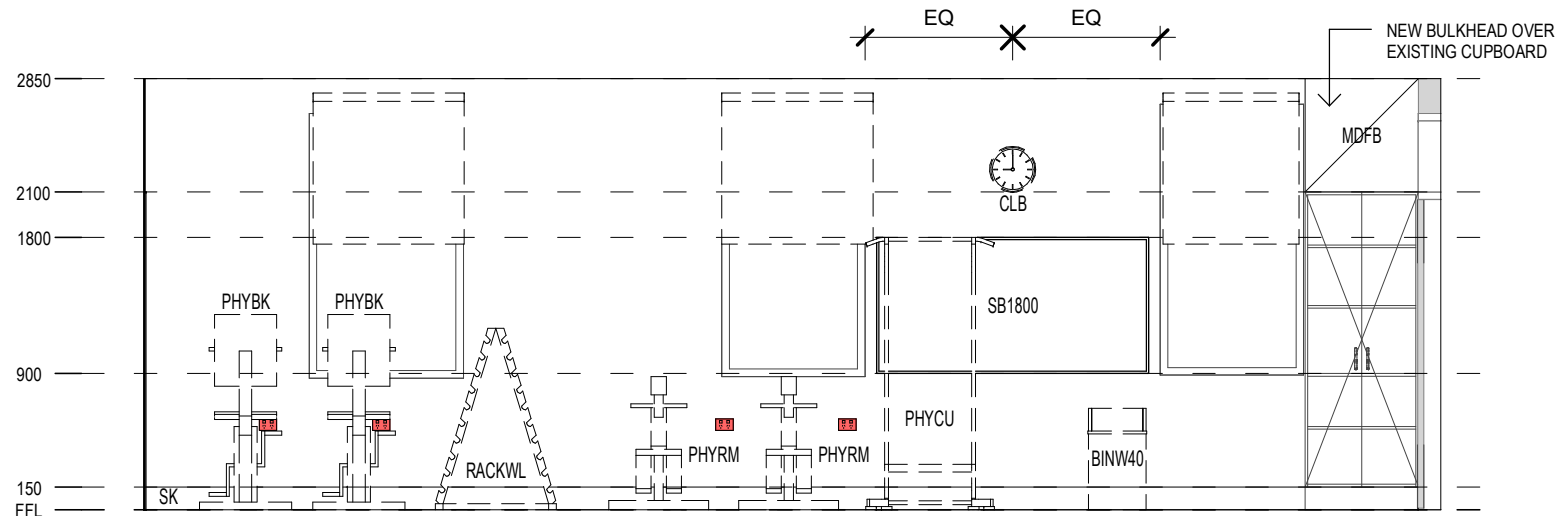
DRAWING TITLE

**ROOM LAYOUT SHEET
ABORIGINAL HEALTH
MEETING ROOM**

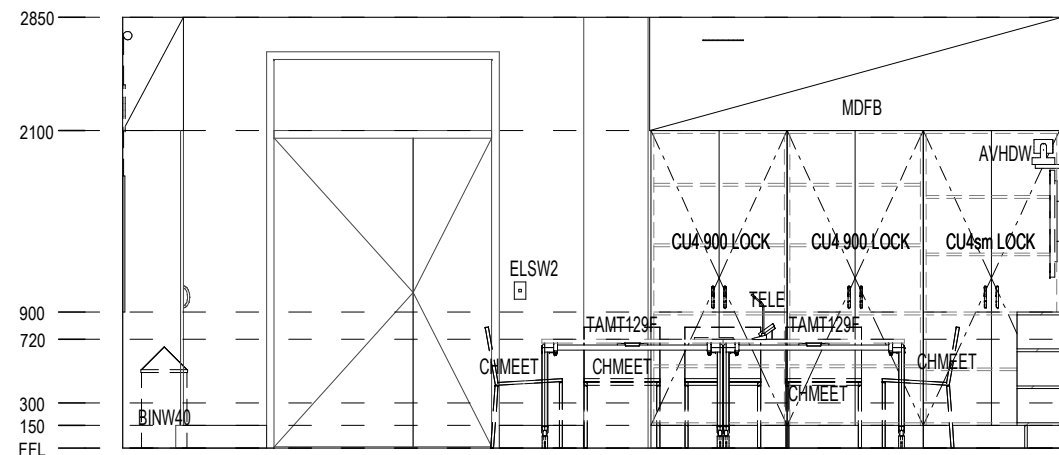
SCALE @A3	DATE 08/09/21	DRAWN BY YL	CHECKED DP
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-E1-06	REVISION F	



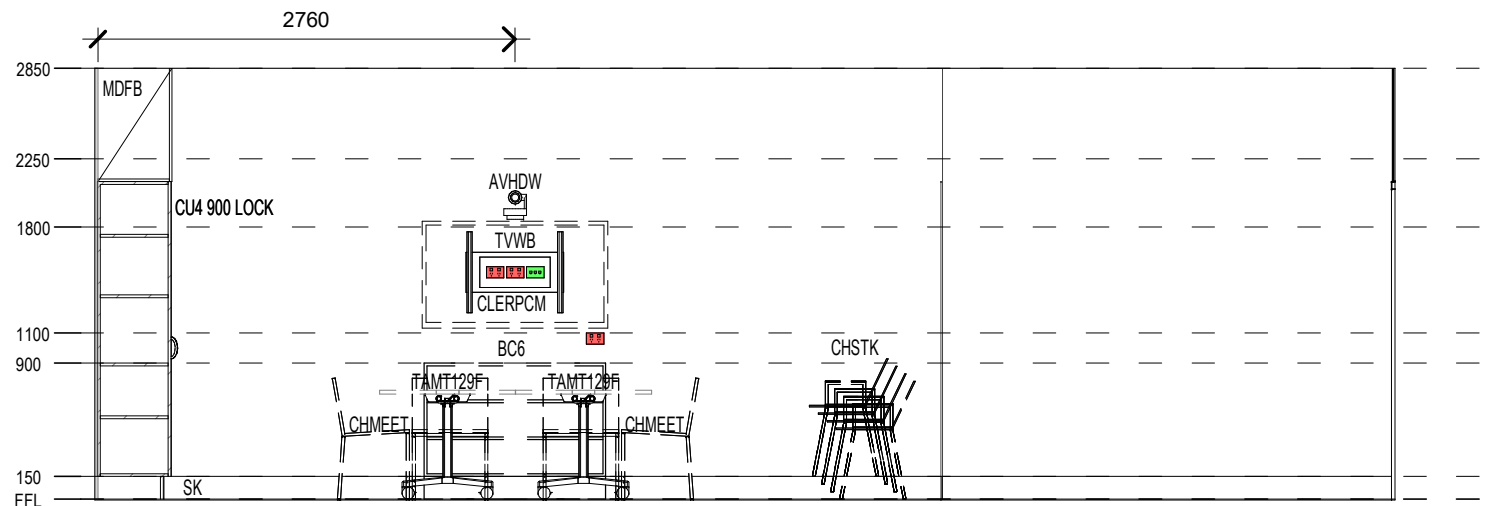
A 205 - MEETING ROOM
SCALE: 1 : 50



B 205 - MEETING ROOM
SCALE: 1 : 50



C 205 - MEETING ROOM
SCALE: 1 : 50



D 205 - MEETING ROOM
SCALE: 1 : 50

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

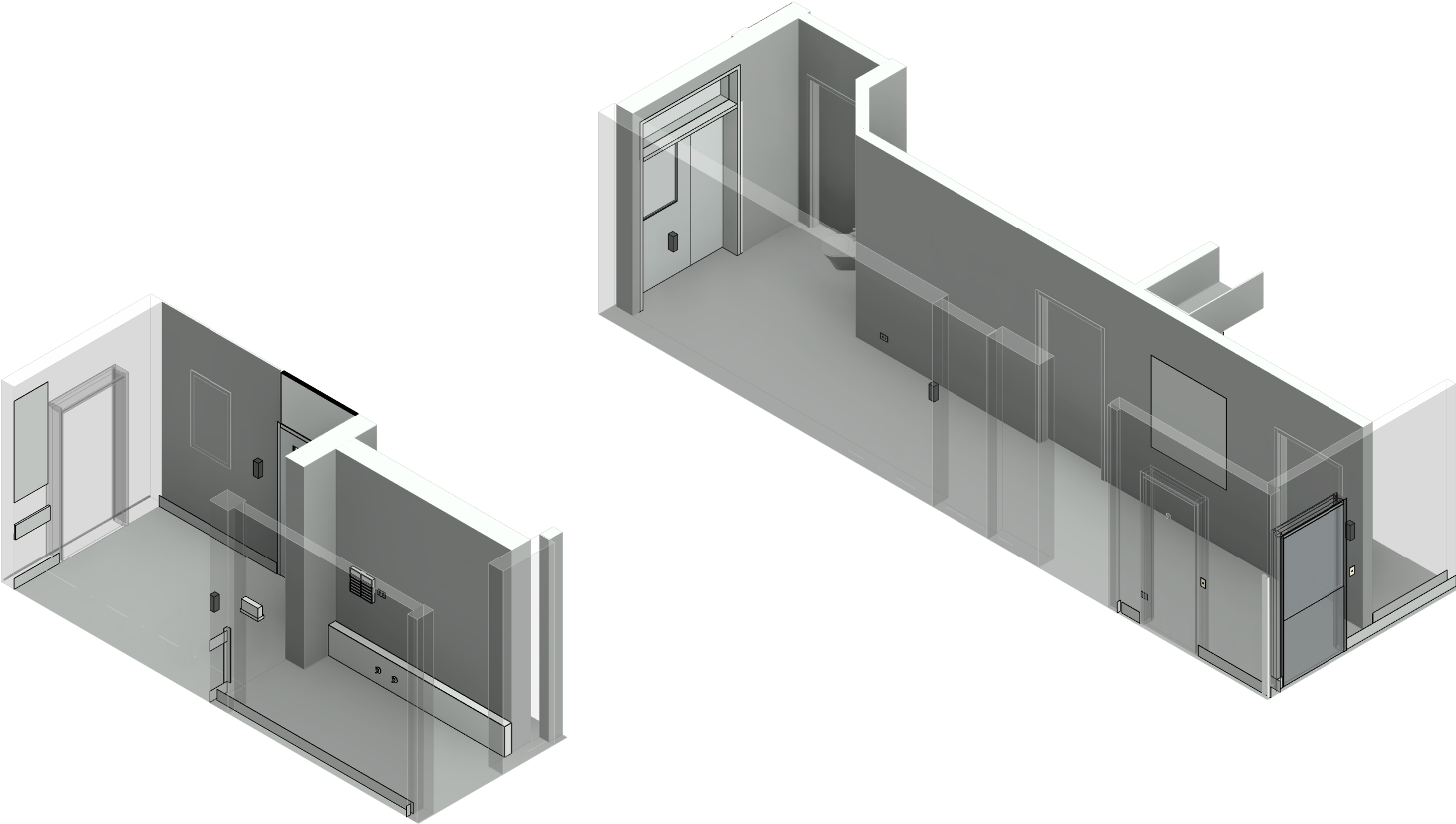
GENERAL POWER OUTLETS

DATA OUTLETS

NOTE:

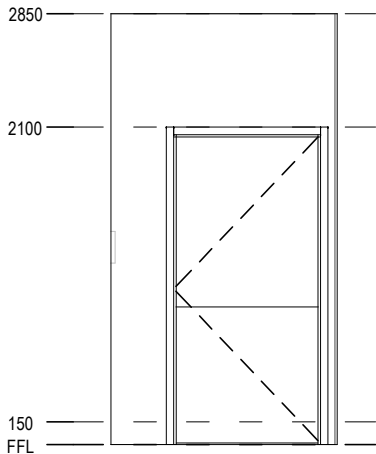
-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

REV	DESCRIPTION	DRN	DATE	ARCHITECTS	CLIENT	DRAWING TITLE
A	ISSUED FOR INFORMATION		18/08/2021	<div>STH</div> <div>ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</div> <div>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</div>	<div>NSW GOVERNMENT Health Infrastructure</div> <div>PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580</div> <div>ISSUED FOR INFORMATION</div>	ROOM LAYOUT SHEET ABORIGINAL HEALTH MEETING ROOM
B	ISSUED FOR INFORMATION		17/09/2021			SCALE 1 : 50@A3 DATE 08/09/21 DRAWN BY AB, ED CHECKED PE
C	ISSUED FOR TENDER		15/11/2021			PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-E1-07 REVISION F
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022			
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022			
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022			

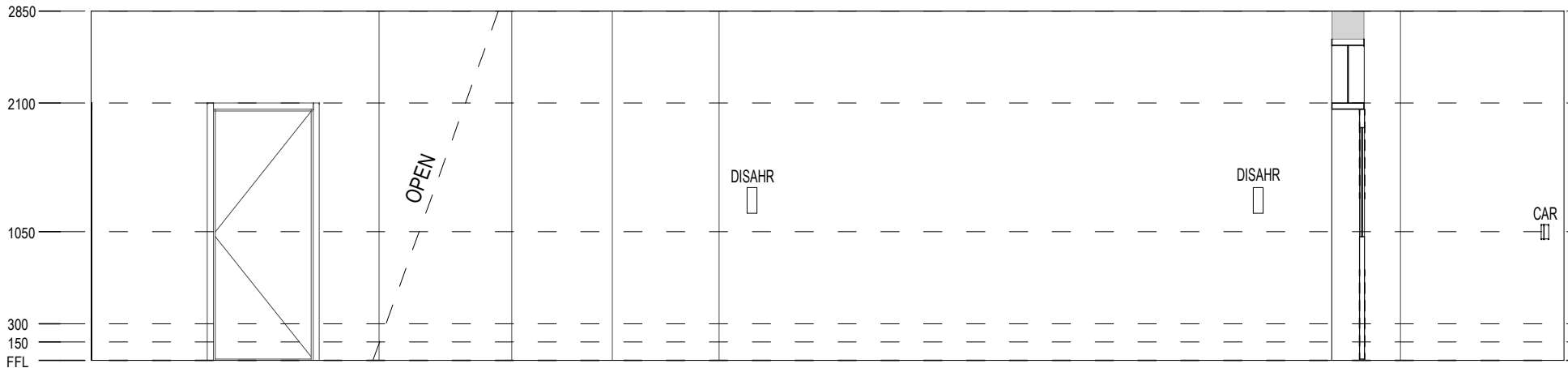


3D VIEW

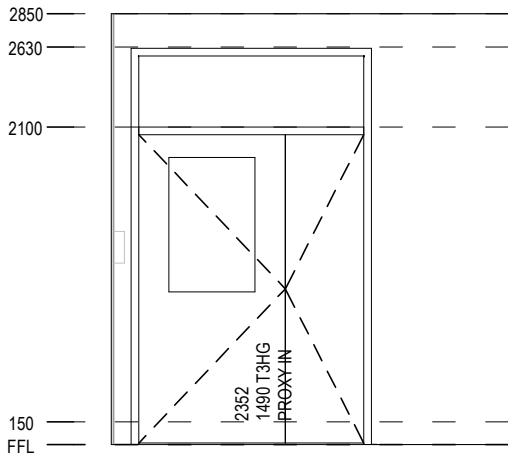
REV	DESCRIPTION	DRN	DATE	DIMENSIONS		ARCHITECTS	CLIENT	DRAWING TITLE		
A	ISSUED FOR INFORMATION		18/08/2021	USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.				ROOM LAYOUT SHEET		
B	ISSUED FOR INFORMATION		17/09/2021	COPYRIGHT ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.		<div>STH</div> <div>ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</div> <div>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</div>	<div><div>NSW</div>GOVERNMENT</div> <div>Health Infrastructure</div>	130 Goldsmith St, Goulburn NSW 2580		
C	ISSUED FOR TENDER		15/11/2021					Goulburn Hospital Final Works		
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022	ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES			ISSUED FOR INFORMATION	SCALE	DATE	DRAWN BY
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022					@A3	08/17/21	AB
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022					PROJECT No	DRAWING No	CHECKED
								10516	18483-STH-AR-DWG-62-E1-10	PE
								REVISION		
										F



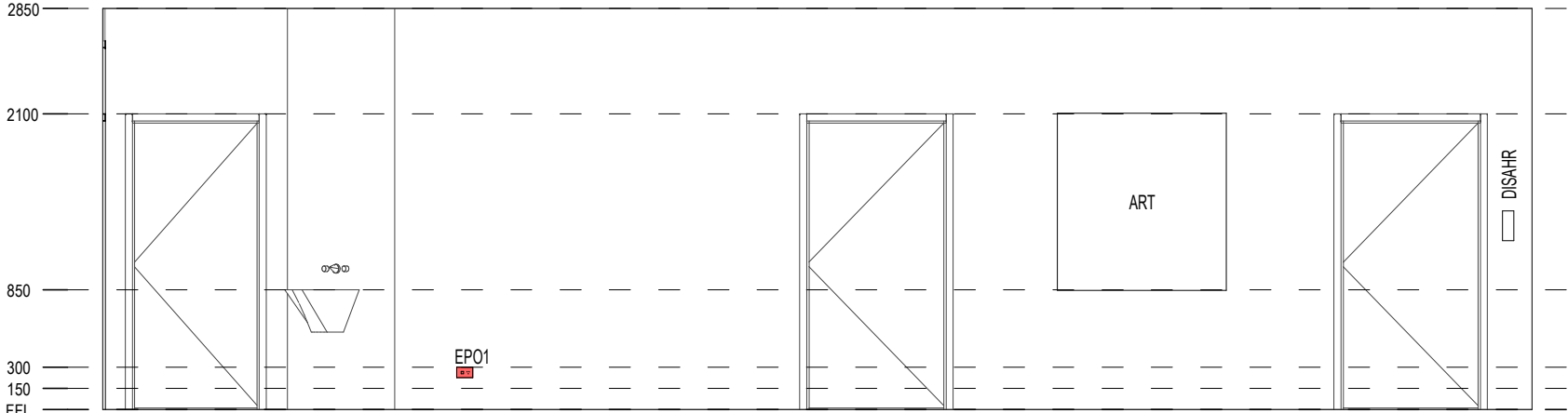
A **16 - CIRCULATION**
SCALE: 1 : 50



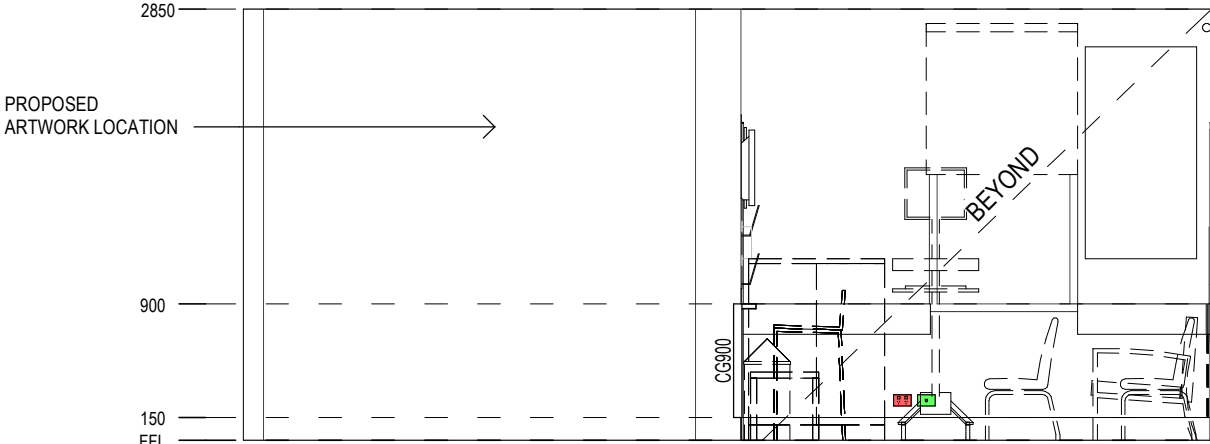
B **16 - CIRCULATION**
SCALE: 1 : 50



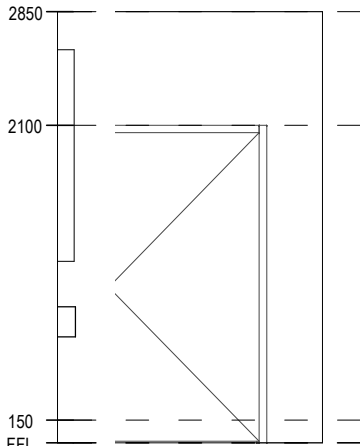
C **16 - CIRCULATION**
SCALE: 1 : 50



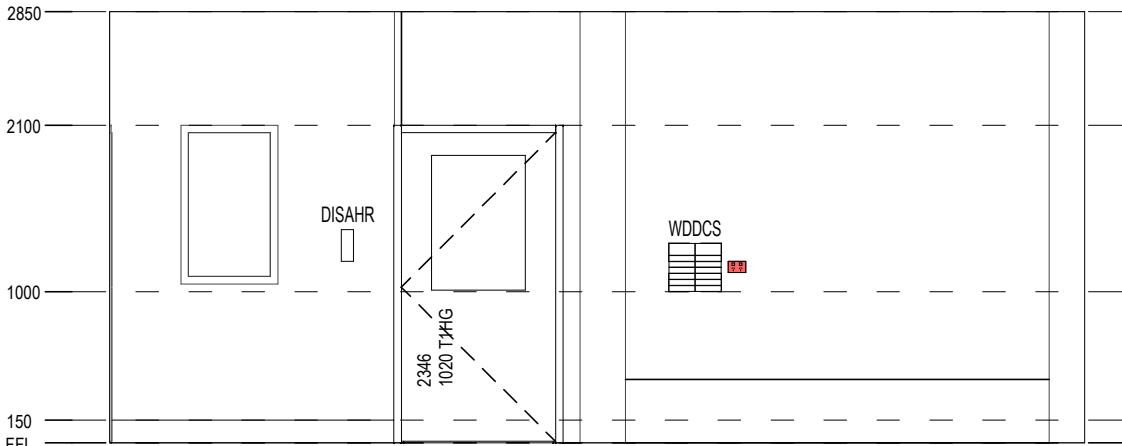
D **16 - CIRCULATION**
SCALE: 1 : 50



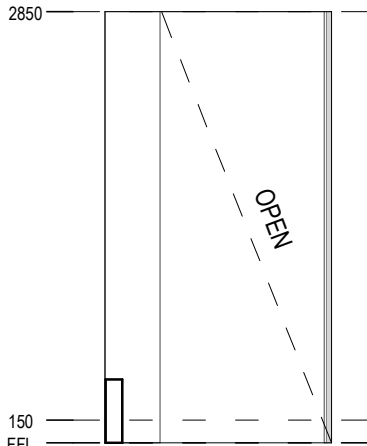
E **16 - CIRCULATION**
SCALE: 1 : 50



F **16 - CIRCULATION**
SCALE: 1 : 50



G **16 - CIRCULATION**
SCALE: 1 : 50



H **16 - CIRCULATION**
SCALE: 1 : 50

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION		18/08/2021
B	ISSUED FOR INFORMATION		17/09/2021
C	ISSUED FOR TENDER		15/11/2021
D	ISSUE TO TENDER; NOTES ADDED; FLOORING PLANS REVISED; RCP REVISED.		09/02/2022
E	ISSUED FOR FINAL REVIEW	DP	20/05/2022
F	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.
COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS



ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT



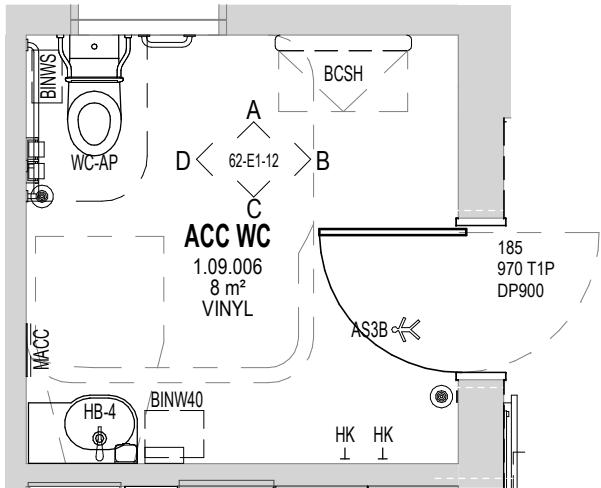
PROJECT
Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

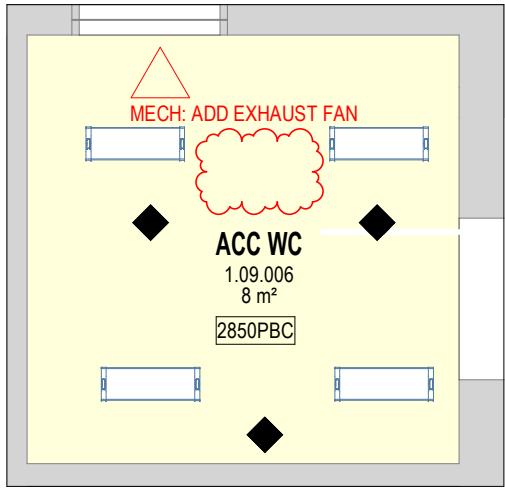
DRAWING TITLE

**ROOM LAYOUT SHEET
ABORIGINAL HEALTH
CIRCULATION**

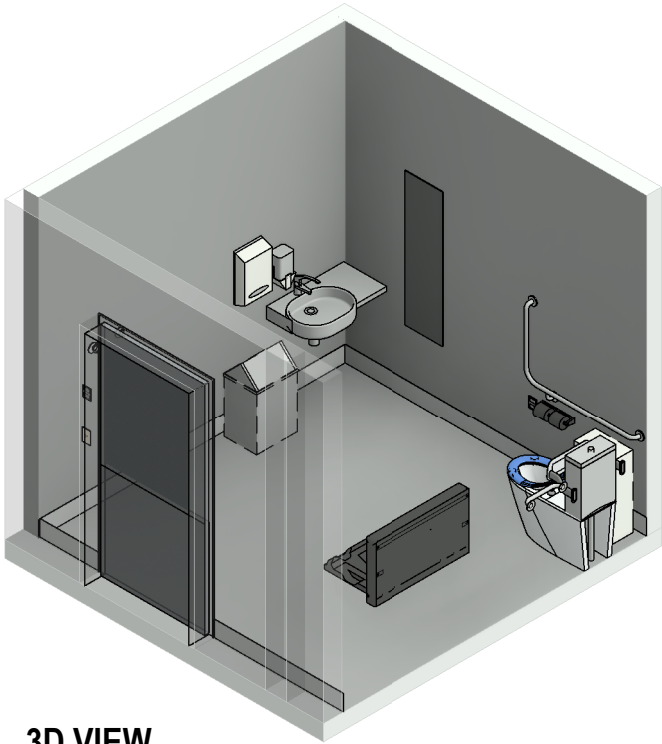
SCALE: 1 : 50@A3 DATE: 08/17/21 DRAWN BY: AB CHECKED: PE
PROJECT No: 10516 DRAWING No: 18483-STH-AR-DWG-62-E1-11 REVISION: **F**



FLOOR PLAN

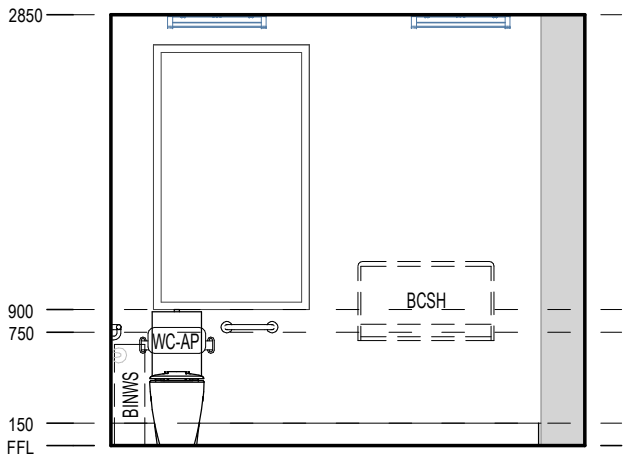


REFLECTED CEILING PLAN

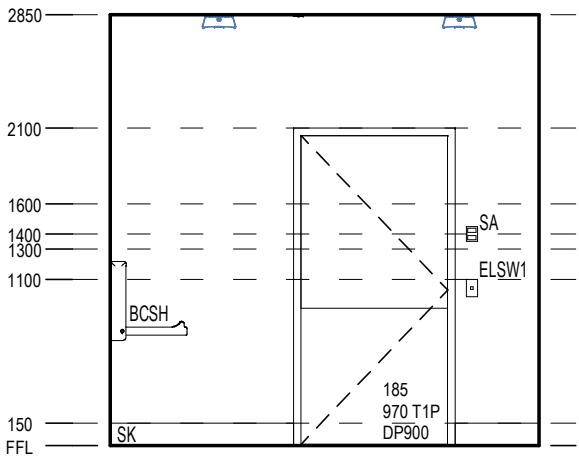


3D VIEW

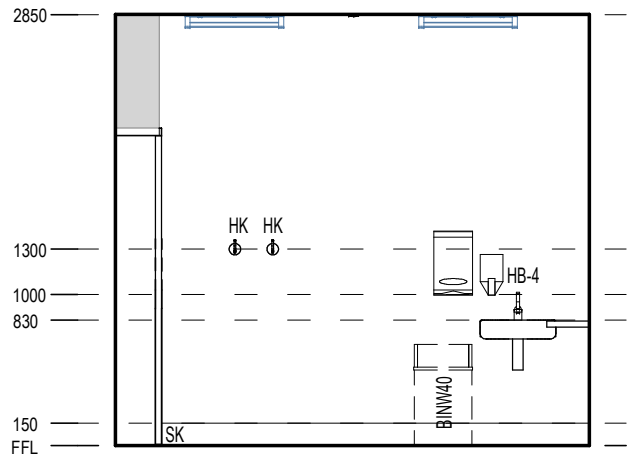
RLS Item List -1.09.006- ACC WC			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BCSH	Baby Change Station Horizontal	1	1
BR	BACKREST FOR ACCESSIBLE WC	1	1
GR4A	GRABRAIL ASSISTED WC COMBINATION TYPE A	1	1
HB4	HANDWASH BASIN - ASSISTED	1	1
HK	Hook - Hat & Coat - Standard	1	2
MACC	MIRROR - ACCESSIBLE	1	1
PXBA	PLUMBING - FLICKMIXER BENCH MOUNTED, ACCESSIBLE	1	1
SA	NURSE CALL BUTTON - STAFF ASSIST	1	2
T1P	Door - Single Leaf Pivot	1	1
WCD	TOILET - ACCESSIBLE	1	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
DISTPDDDB	Dispenser - Toilet Paper - Double	2	1
BINW40	Bin - Waste 40 Litre	3	1
BINWS	BIN - SANITARY NAPKIN	3	1



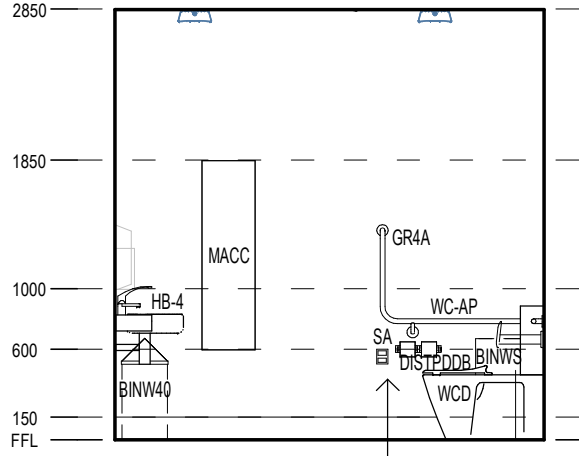
A 207-ACC WC
SCALE: 1 : 50



B 207-ACC WC
SCALE: 1 : 50



C 207-ACC WC
SCALE: 1 : 50



D 207-ACC WC
SCALE: 1 : 50

REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022
	SERVICE CLASH DETECTION		XXXXXX

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

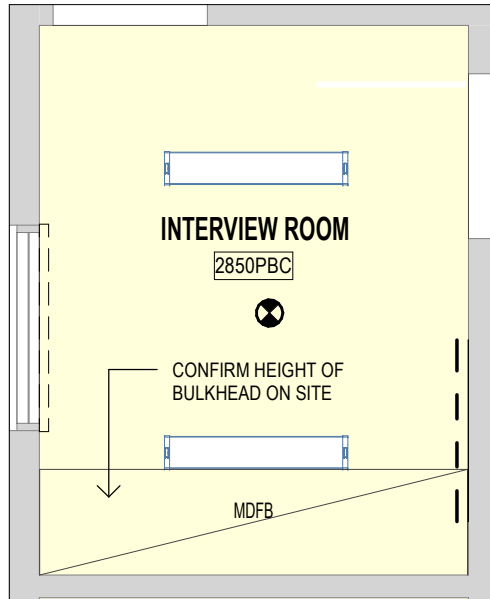
ARCHITECTS	
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	

CLIENT	
PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	
ISSUED FOR INFORMATION	

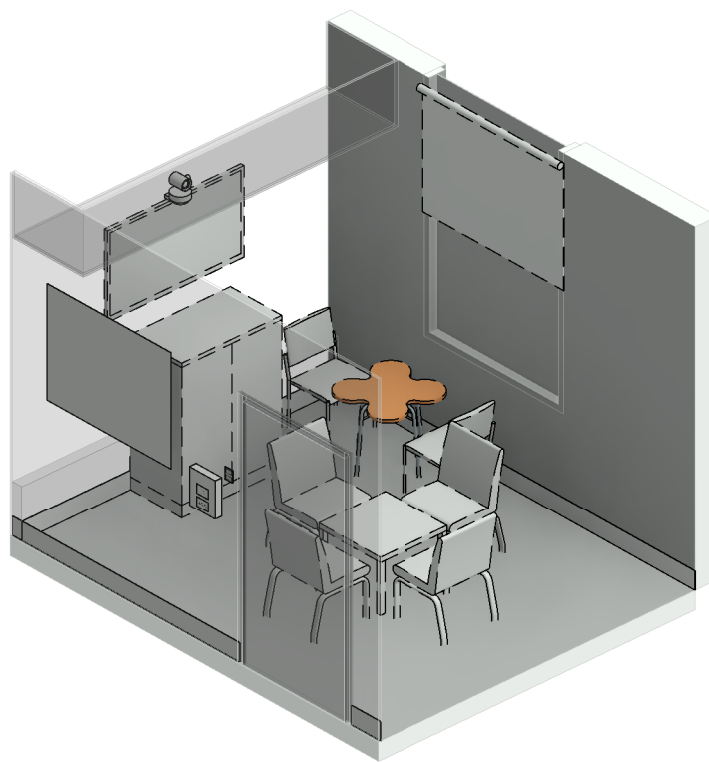
DRAWING TITLE			
ACC WC			
SCALE 1 : 50@A3	DATE 04/21/22	DRAWN BY YL	CHECKED DP
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-E1-12	REVISION B	



FLOOR PLAN

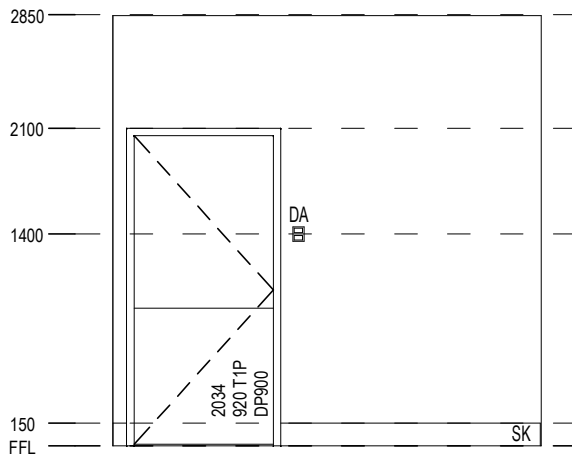


REFLECTED CEILING PLAN

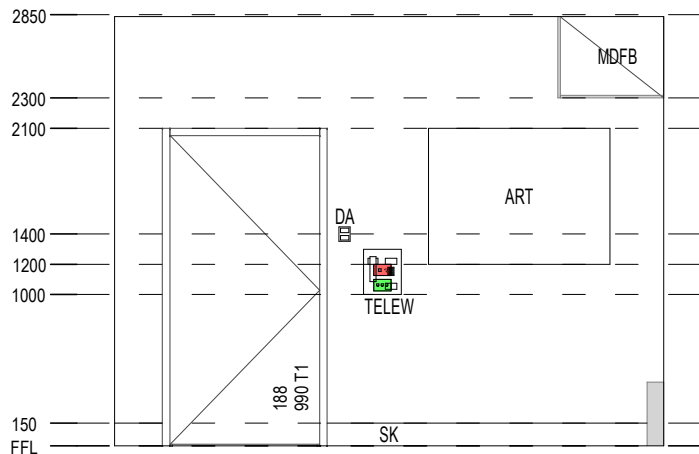


3D VIEW

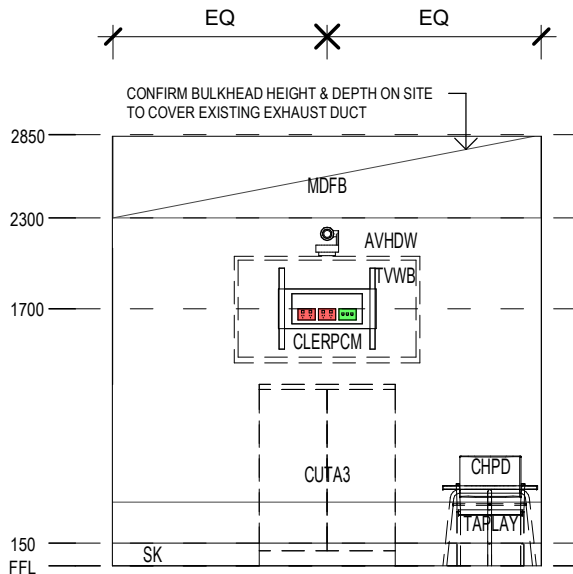
RLS Item List - 9 - INTERVIEW ROOM			
Item Code	Description	Group	Count
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
DA	DURESS ALARM	1	2
EPO1	SINGLE POWER OUTLET	1	1
EPO2	DOUBLE POWER OUTLET	1	2
MDFB	BULKHEAD - MDF	1	1
T1	Door - Single Leaf	1	1
TELEW	TELEPHONE - WALL MOUNTED	1	1
TVWB	BRACKET - TELEVISION WALL MOUNTED	1	1
AVHDW	AUDIO VISUAL - HD CAMERA WALL MOUNTED	2	1
ART	ARTWORK PANEL	3	1
CHPD	CHAIR - PAEDIATRIC	3	2
CHV	CHAIR - VISITOR	3	4
CLERPCM	CLERICAL FLAT SCREEN MONITOR - 55 INCH	3	1
CUTA3	TALL CUP'D WITH TAMBOUR DOOR 1200H 900W 500D	3	1
TACFM	TABLE - MEDIUM COFFEE	3	1
TAPLAY	Table - Children's Play Table	3	1



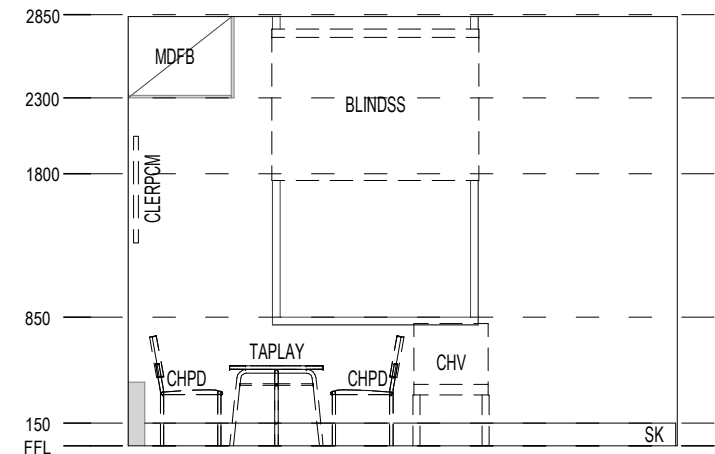
A INTERVIEW ROOM
SCALE: 1 : 50



B INTERVIEW ROOM
SCALE: 1 : 50



C INTERVIEW ROOM
SCALE: 1 : 50





D INTERVIEW ROOM
SCALE: 1 : 50

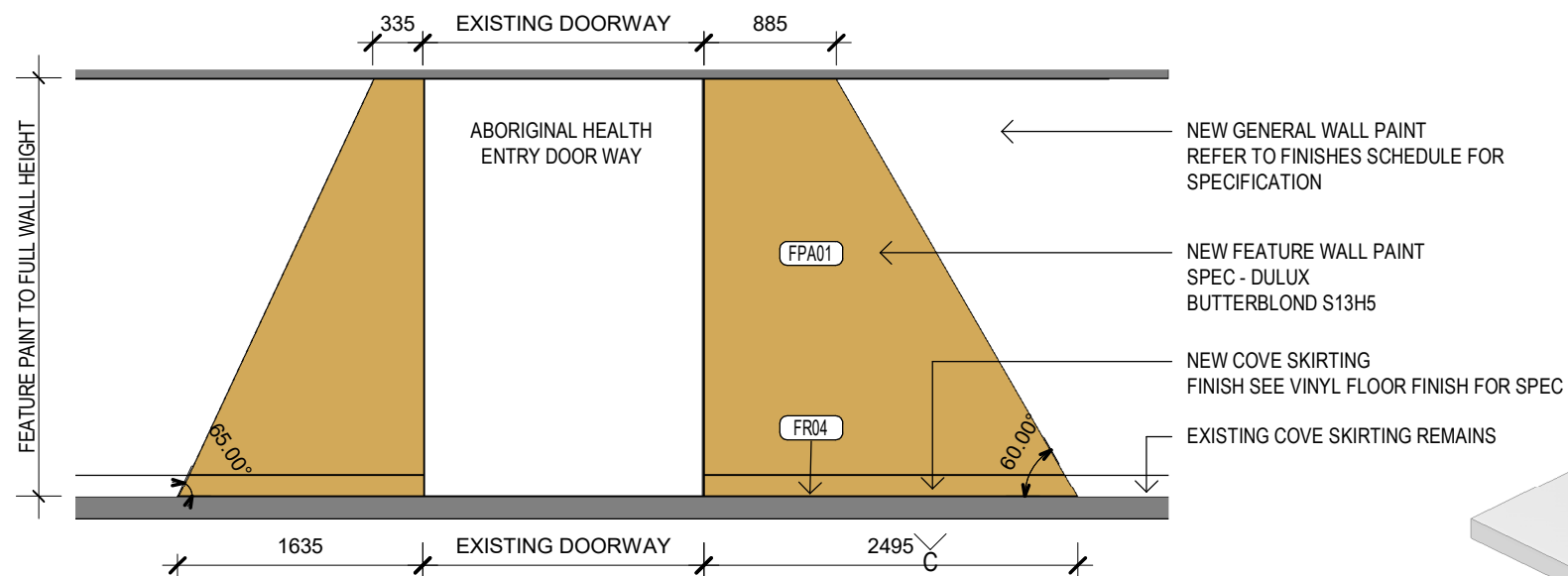
REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

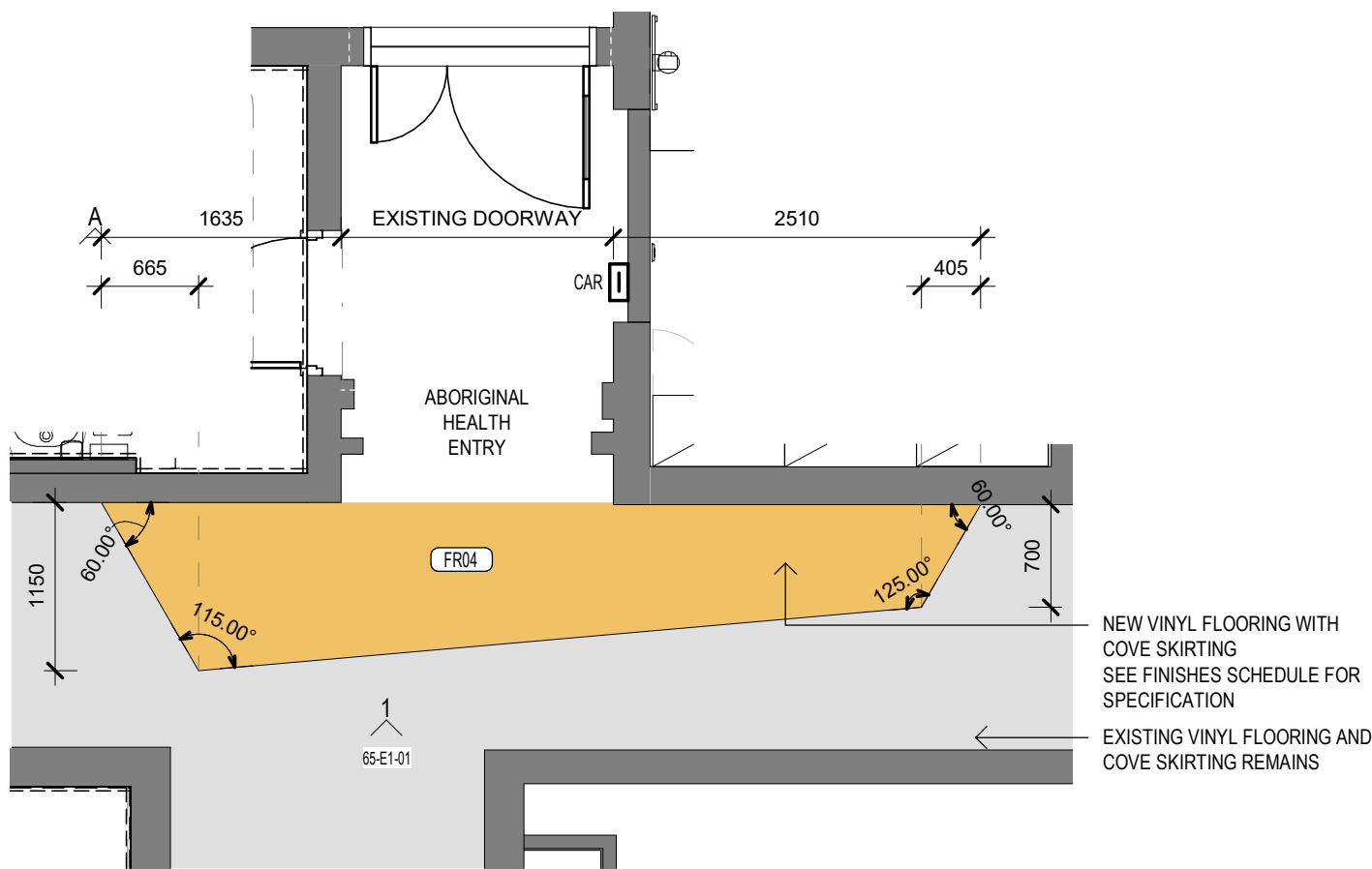
ARCHITECTS
STH
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT	 
PROJECT	Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580
ISSUED FOR INFORMATION	

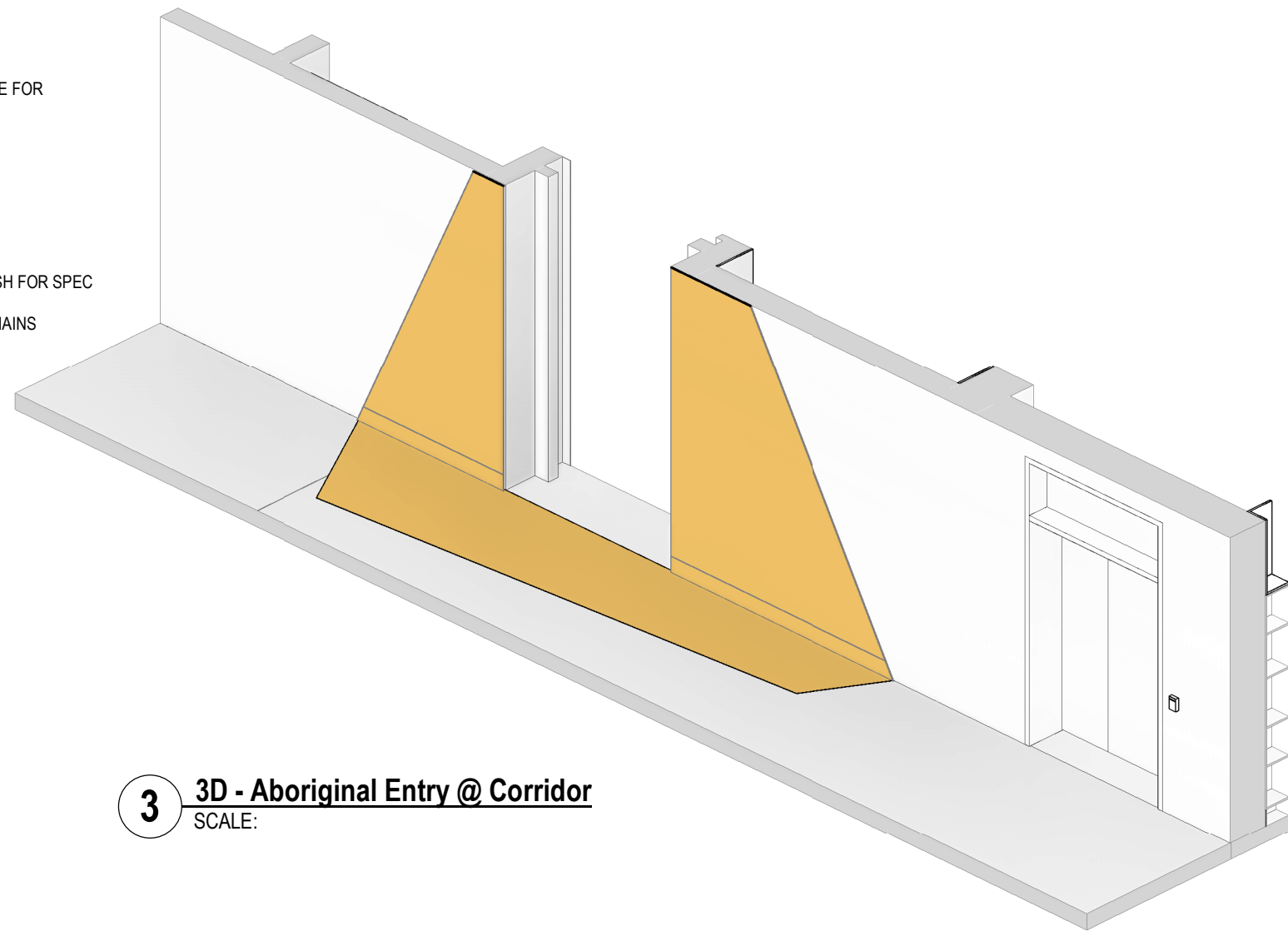
DRAWING TITLE			
INTERVIEW ROOM			
SCALE 1 : 50@A3	DATE 05/04/22	DRAWN BY YL	CHECKED DP
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-E1-13	REVISION B	



1 Elevation - Entry @ Corridor
SCALE: 1 : 50



2 Plan - Entry @ Corridor
SCALE: 1 : 50



3 3D - Aboriginal Entry @ Corridor
SCALE:



KEY PLAN

REV	DESCRIPTION	DRN	DATE
A	NOTES ADDED; SERVICES UPDATED; CORRIDOR ENTRY SHEETS ADDED		08/12/2021
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

DRAWING TITLE

ABORIGINAL ENTRY @ CORRIDOR

SCALE 1 : 50@A3 DATE 11/29/21 DRAWN BY AB CHECKED DP

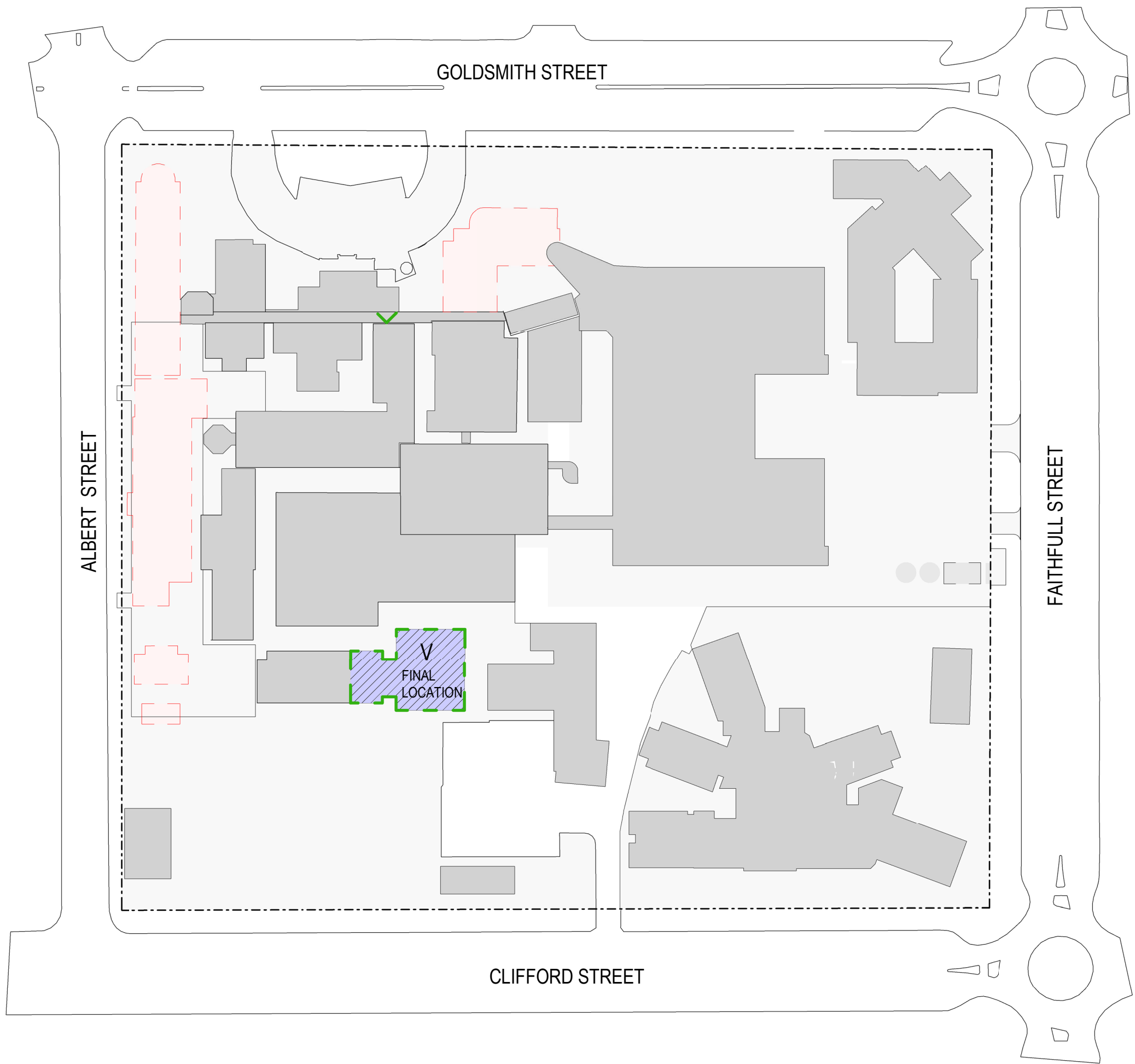
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-65-E1-01 REVISION **C**

DESIGN DEVELOPMENT

ONCOLOGY

BUILDING 'V', GROUND FLOOR

ONCOLOGY - DRAWING LIST		
Sheet Number	Sheet Name	Current Revision
00-V1-01	ONCOLOGY - COVER SHEET	B
00-V1-02	ONCOLOGY-FLOOR PLAN	B
12-V1-00	EXISTING RENAL & PHYSIOTHERAPY FLOOR PLAN	B
12-V1-01	ONCOLOGY - DEMOLITION PLAN	C
30-V1-01	ONCOLOGY - RCP	C
61-V1-01	ONCOLOGY - FITOUT PLAN	C
62-V1-01	CONSULT ROOM	D
62-V1-02	TREATMENT BAY	D
62-V1-03	STORAGE GEN	C
62-V1-04	BAY-BLANKET/FLUID WARMER	C
62-V1-05	(EX)CLEANER'S ROOM	C
62-V1-06	(EX)ADMIN + RECEPTION	C
62-V1-07	STORE-PHOTOCOPY/STATIONERY	C
62-V1-08	BAY - LINEN	C
62-V1-09	ACC WC	C
62-V1-10	BAY-BEVERAGE	C
62-V1-11	LINEN	C
62-V1-12	WAITING	C
62-V1-12.1	WAITING	B
62-V1-13	BAY-EQ	C
62-V1-14	STAFF TOILET	C
62-V1-15	1P OFFICE	C
62-V1-16	2P OFFICE	C
62-V1-17	PATIENT TOILET	C
62-V1-18	DIRTY UTILITY	C
62-V1-19	RESUS	C
62-V1-20	1 BED HOLDING	C
62-V1-21	ENS	C
62-V1-22	MEETING ROOM	C
62-V1-23	INTERVIEW+ EDU	C
62-V1-24	CLEAN STORE + CYTO	C
62-V1-25	STAFF STATION	C
62-V1-26	CONSULT ROOM	D
62-V1-27	BAY-LOCKER	B
62-V1-28	BAY-LINEN	B
62-V1-29	BAY- HWB	B
62-V1-30	TR BAY 2	B
62-V1-31	TR BAY 3	B
62-V1-32	TR BAY 4	B
62-V1-33	TR BAY 5	B
62-V1-34	TR BAY 6	B
62-V1-35	TR BAY 7	B
62-V1-36	CONSULT ROOM	B
62-V1-37	BAY-HEIGHT/WEIGHT	A
63-V1-01	ONCOLOGY - FLOOR FINISHES PLAN	B
71-V1-01	SPECIAL JOINERY - STAFF STATION	B
71-V1-02	SPECIAL JOINERY - WALL PANEL	B
71-V1-03	SPECIAL JOINERY - WALL PANEL	B
71-V1-04	SPECIAL JOINERY - DETAILS	B



KEY PLAN

REVDESCRIPTIONDRNDATE

AISSUED FOR FINAL REVIEWDP20/05/2022

B ISSUED FOR FINAL REVIEWDP27/05/2022

COPYRIGHT

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

DIMENSIONS

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

FIXTURES, FITTINGS & EQUIPMENT SPECIFICATIONS

SUBSTITUTE FF&E EQUIPMENT SPECIFICATIONS
THE FIT-OUT DESIGN AND DOCUMENTATION HAS BEEN COMPLETED ON THE BASIS OF FF&E AND EQUIPMENT ADVISED TO THIS OFFICE AT THE TIME OF BRIEFING THE DESIGN. THE DESIGN PROVISIONS FOR FF&E AND EQUIPMENT INCORPORATES SPATIAL ALLOCATIONS, SERVICING, LOADING AND ACCESS CLEARANCES AND WHERE APPROPRIATE SERVICES REQUIREMENTS, HAVING DUE REGARD FOR SURROUNDING FIXTURES AND FITTINGS. IT SHOULD BE NOTED THAT SUBSTITUTE FF&E OR EQUIPMENT WITH ALTERNATE SPECIFICATIONS SHOULD NOT BE PROCURED PRIOR TO VALIDATING THOSE SPECIFICATIONS AGAINST THE ITEM CONTROL SCHEDULE AND DESIGN PROVISIONS IN THE MODEL. THIS OFFICE ACCEPTS NO RESPONSIBILITY FOR THE PROCUREMENT OF SUBSTITUTE FF&E AND EQUIPMENT WHICH HAS NOT BEEN REVIEWED AND VALIDATED AGAINST THE ORIGINAL DESIGN PROVISIONS.

SERVICE POINTS DISCLAIMER

THE SERVICE POINTS IDENTIFIED ON THESE DRAWINGS HAVE BEEN OVERLAYED FROM THE BUILDING SERVICES ENGINEERING MODEL, AND ARE PROVIDED FOR INFORMATION AND SET-OUT PURPOSES ONLY. WE HAVE BEEN ADVISED BY THE SERVICES ENGINEERS THAT THE POINTS REPRESENTED ON THESE DRAWINGS ARE CORRECT AT THE TIME OF PUBLICATION. THIS OFFICE DOES NOT WARRANT THE ACCURACY OF THIS DATA. REFER TO THE BUILDING SERVICES ENGINEERING DOCUMENTATION FOR THE INSTALLATION OF THE SERVICES POINTS, AND THE INTERFACE BETWEEN THE SERVICES POINTS AND THE RESPECTIVE ENGINEERING SYSTEMS.

ISSUED FOR INFORMATION

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2331 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF
SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065
AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW GOVERNMENT

Health Infrastructure

PROJECT MANAGER

ROOT PARTNERSHIPS
Advisory+
Project Management

Level 19, 9 Hunter Street,
Sydney NSW 2000
PH: (02) 8272 9300

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

DRAWING TITLE

ONCOLOGY
COVER PAGE

SCALEAs indicated@A1

DATE03/03/22

DRAWN BYAuthor

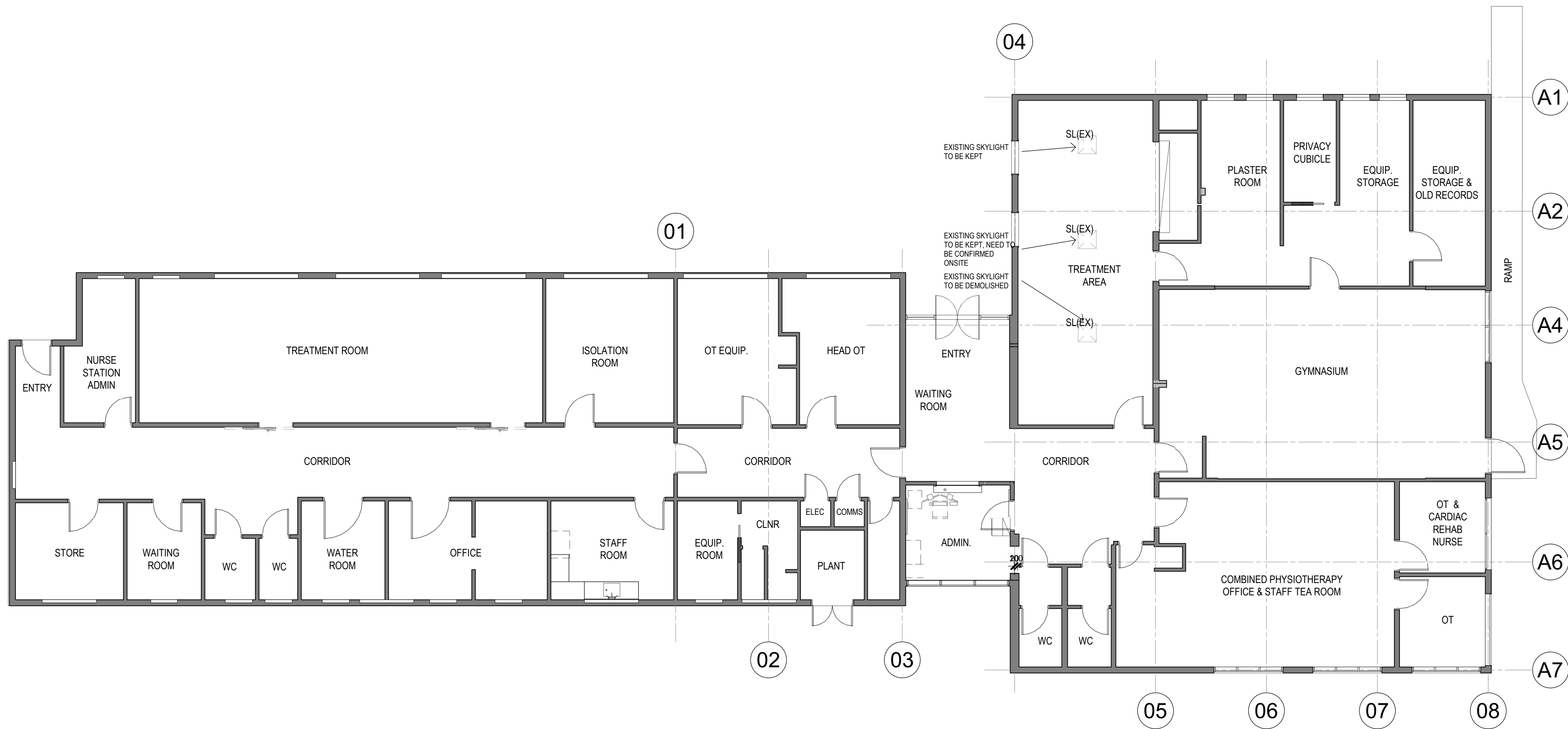
CHECKEDChecker

PROJECT No10516

DRAWING No18483-STH-AR-DWG-00-V1-01

REVISIONB

BIM 300 / Goulburn Hospital Final Works/GHPW_BUILDING_A20.rvt



1 EXISTING RENAL & PHYSIOTHERAPY FLOOR PLAN
SCALE: 1 : 100

KEY PLAN

REV

DESCRIPTION

DRN

DATE

A

ISSUED FOR FINAL REVIEW

DP

20/05/2022

B

ISSUED FOR FINAL REVIEW

DP

27/05/2022

01

02

03

04

05

06

07

08

A1

A2

A4

A5

A6

A7

COPYRIGHT

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

DIMENSIONS

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

FIXTURES, FITTINGS & EQUIPMENT SPECIFICATIONS

SUBSTITUTE FF&E EQUIPMENT SPECIFICATIONS
THE FIT-OUT DESIGN AND DOCUMENTATION HAS BEEN COMPLETED ON THE BASIS OF FF&E AND EQUIPMENT ADVISED TO THIS OFFICE AT THE TIME OF BRIEFING THE DESIGN. THE DESIGN PROVISIONS FOR FF&E AND EQUIPMENT INCORPORATES SPATIAL ALLOCATIONS, SERVICING, LOADING AND ACCESS CLEARANCES AND WHERE APPROPRIATE SERVICES REQUIREMENTS, HAVING DUE REGARD FOR SURROUNDING FIXTURES AND FITTINGS. IT SHOULD BE NOTED THAT SUBSTITUTE FF&E OR EQUIPMENT WITH ALTERNATE SPECIFICATIONS SHOULD NOT BE PROCURED PRIOR TO VALIDATING THOSE SPECIFICATIONS AGAINST THE ITEM CONTROL SCHEDULE AND DESIGN PROVISIONS IN THE MODEL. THIS OFFICE ACCEPTS NO RESPONSIBILITY FOR THE PROCUREMENT OF SUBSTITUTE FF&E AND EQUIPMENT WHICH HAS NOT BEEN REVIEWED AND VALIDATED AGAINST THE ORIGINAL DESIGN PROVISIONS.

SERVICE POINTS DISCLAIMER

THE SERVICE POINTS IDENTIFIED ON THESE DRAWINGS HAVE BEEN OVERLAYED FROM THE BUILDING SERVICES ENGINEERING MODEL, AND ARE PROVIDED FOR INFORMATION AND SET-OUT PURPOSES ONLY. WE HAVE BEEN ADVISED BY THE SERVICES ENGINEERS THAT THE POINTS REPRESENTED ON THESE DRAWINGS ARE CORRECT AT THE TIME OF PUBLICATION. THIS OFFICE DOES NOT WARRANT THE ACCURACY OF THIS DATA. REFER TO THE BUILDING SERVICES ENGINEERING DOCUMENTATION FOR THE INSTALLATION OF THE SERVICES POINTS, AND THE INTERFACE BETWEEN THE SERVICES POINTS AND THE RESPECTIVE ENGINEERING SYSTEMS.

ISSUED FOR INFORMATION

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF
SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065
AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW

GOVERNMENT

Health

Infrastructure

PROJECT MANAGER

ROOT

PARTNERSHIPS

Advisory+

Project Management

Level 19, 9 Hunter Street,
Sydney NSW 2000
PH: (02) 8272 9300

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

DRAWING TITLE

EXISTING RENAL & PHYSIOTHERAPY FLOOR PLAN

SCALE

DATE

DRAWN BY

CHECKED

1 : 100@A1

03/18/22

DP

Checker

PROJECT No

DRAWING No

REVISION

10516

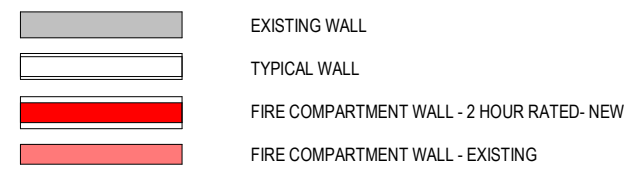
18483-STH-AR-DWG-12-V1-00

B



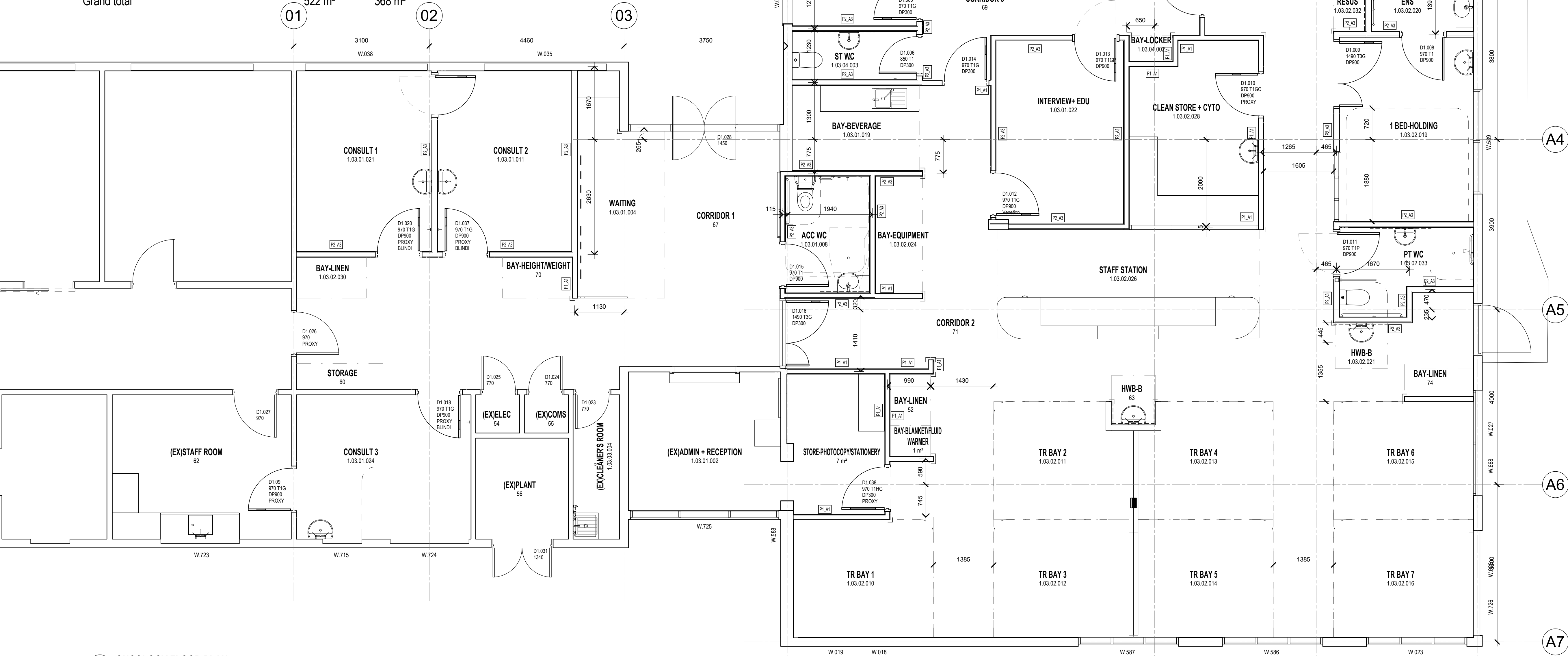
ONCOLOGY - PERMANENT				
Brief No	Room Name	Area	SOA Requirements	Comments
WCAC	ACC T.	6 m²	6 m²	
1BR-H-12	BEDROOM	12 m²	12 m²	
CLUR-8	CLEAN STORE / MEDICATION	15 m²	12 m²	
CONS	CONSULT ROOM	24 m²	24 m²	
	CORRIDOR	207 m²	92 m²	
DTUR-S	DIRTY UTILITY	12 m²	8 m²	
DISP-8	DISPOSAL ROOM	19 m²	8 m²	
ENS-ST	ENSUITE	5 m²	5 m²	
	FLEXIBLE RM	12 m²	12 m²	
MEET-L-20	MEETING	17 m²	15 m²	
RECL-10	RECEPTION	12 m²	10 m²	
WCST	ST T	4 m²	3 m²	
SRM-15	STAFF ROOM	16 m²	15 m²	
SSTN-10	STAFF STATION	13 m²	10 m²	
	STAFF WORKSPACE	33 m²	30 m²	
STEQ-14	STORE EQUIP	10 m²	7 m²	
STGN-9	STORE GEN	11 m²	9 m²	
PBTR-MD	TR BAY 1	11 m²	9 m²	
PBTR-MD	TR BAY 2	11 m²	9 m²	
PBTR-MD	TR BAY 3	11 m²	9 m²	
PBTR-MD	TR BAY 4	9 m²	9 m²	
PBTR-MD	TR BAY 5	9 m²	9 m²	
PBTR-MD	TR BAY 6	9 m²	9 m²	
PBTR-MD	TR BAY 7	9 m²	9 m²	
WAIT-20	WAITING	10 m²	10 m²	
WCPU-3	WH CHAIR	5 m²	2 m²	
	WIG LIBRARY	11 m²	15 m²	
Grand total		522 m²	368 m²	

LEGEND OF PARTITIONS



NOTES:

1. BULKHEAD HEIGHTS/ALTERATIONS TO BE DETERMINED BY SERVICES CONSULTANTS
2. FINAL SHELVING LOCATION TO BE CONFIRMED ON SITE
3. REFER TO ACOUSTIC REPORT TO ADD EXTRA PLASTERBOARD WHERE NEEDED
4. HYDRONIC HEATING SERVICES - ALLOWANCE FOR IMPACTS ON DESK AND SHELVING LOCATIONS. RADIATOR SIZE AND LOCATIONS ARE INDICATIVE AND TO BE CHECKED ONSITE
5. ALLOW NEW FLOORING INFILL INBTWEEN NEW OPENINGS
6. REPLACE UV BLINDS IF REQUIRED.
7. ALL DOOR OPENINGS MUST MEET MINIMUM 850MM CLEARANCE - TO BE VERIFIED ON SITE
8. ALLOWANCE FOR SIGNAGE AND WAYFINDING
9. ALLOWANCE FOR DOOR HARDWARE
10. ALLOWANCE FOR SWIPE CARD ACCESS TO CORRIDOR DOORS, STORE ROOMS, WORKSPACES/SORTING WHERE DOORS INDICATED, MEETING ROOM
11. INCLUSION OF HEALTH AND ICT REQUIREMENTS BY HI
12. PLINTHS IN ALL ROOMS TO BE REMOVED AND MADE GOOD
13. ALLOW FOR STRUCTURAL ENGINEER INSPECTIONS OF MASONRY WALLS PRIOR TO DEMOLITION TO CONFIRM EXISTING CONDITIONS



1 ONCOLOGY FLOOR PLAN
SCALE: 1 : 50

KEY PLAN

REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022

COPYRIGHT

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHTED AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

DIMENSIONS

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

FIXTURES, FITTINGS & EQUIPMENT SPECIFICATIONS

SUBSTITUTE FF&E EQUIPMENT SPECIFICATIONS
THE FIT-OUT DESIGN AND DOCUMENTATION HAS BEEN COMPLETED ON THE BASIS OF FF&E AND EQUIPMENT ADVISED TO THIS OFFICE AT THE TIME OF BRIEFING THE DESIGN. THE DESIGN PROVISIONS FOR FF&E AND EQUIPMENT INCORPORATES SPATIAL ALLOCATIONS, SERVICES, LOADING AND ACCESS CLEARANCES AND WHERE APPROPRIATE SERVICES REQUIREMENTS, HAVING DUE REGARD FOR SURROUNDING FIXTURES AND FITTINGS. IT SHOULD BE NOTED THAT SUBSTITUTE FF&E OR EQUIPMENT WITH ALTERNATE SPECIFICATIONS SHOULD NOT BE PROCURED PRIOR TO VALIDATING THOSE SPECIFICATIONS AGAINST THE ITEM CONTROL SCHEDULE AND DESIGN PROVISIONS IN THE MODEL. THIS OFFICE ACCEPTS NO RESPONSIBILITY FOR THE PROCUREMENT OF SUBSTITUTE FF&E AND EQUIPMENT WHICH HAS NOT BEEN REVIEWED AND VALIDATED AGAINST THE ORIGINAL DESIGN PROVISIONS.

SERVICE POINTS DISCLAIMER

THE SERVICE POINTS IDENTIFIED ON THESE DRAWINGS HAVE BEEN OVERLAYED FROM THE BUILDING SERVICES ENGINEERING MODEL AND ARE PROVIDED FOR INFORMATION AND SET-OUT PURPOSES ONLY. WE HAVE BEEN ADVISED BY THE SERVICES ENGINEERS THAT THE POINTS REPRESENTED ON THESE DRAWINGS ARE CORRECT AT THE TIME OF PUBLICATION. THIS OFFICE DOES NOT WARRANT THE ACCURACY OF THIS DATA. REFER TO THE BUILDING SERVICES ENGINEERING DOCUMENTATION FOR THE INSTALLATION OF THE SERVICE POINTS, AND THE INTERFACE BETWEEN THE SERVICE POINTS AND THE RESPECTIVE ENGINEERING SYSTEMS.

ISSUED FOR INFORMATION

ARCHITECTS

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9685 2233 FAX: (03) 9685 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF
SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065
AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

PROJECT MANAGER

ROOT PARTNERSHIPS Level 19, 9 Hunter Street, Sydney NSW 2000
Advisory+ Project Management PH: (02) 8272 9300

PROJECT

Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

DRAWING TITLE

ONCOLOGY FLOOR PLAN

SCALE	DATE	DRAWN BY	CHECKED
As indicated@A1	03/03/22	Author	Checker
PROJECT No	DRAWING No	REVISION	
10516	18483-STH-AR-DWG-22-V1-01	B	

CEILING CODE LEGEND

PBC-EX EXISTING PLASTERBOARD CEILING FLUSH
MFT-EX EXISTING MINERAL FIBRE TILE 600 X 1200

PBC PLASTERBOARD CEILING FLUSH
PPBC PERFORATED PLASTERBOARD CEILING
PBCB PLASTERBOARD BULKHEAD
MDFB MDF BULKHEAD
BFA FEATURE BULKHEAD
CT CURTAIN TRACKS MOUNTED AT 2400FCL
NOC NO CEILING
OUT OF SCOPE CEILING
EXISTING PLASTERBOARD
NEW PLASTERBOARD

- ALL CEILINGS DOCUMENTED AS PER THE RECOMMENDATION OF AUSHFG TO BE REVIEWED DURING THE NEXT PHASE

- ALL CEILING TO BE PAINTED PA03 UNLESS NOTED OTHERWISE

- MAKE GOOD EXISTING CEILING IF LOCAL CEILING PLASTERBOARD OR TILES ARE BROKEN / DAMAGED

- ALL JOINTS BETWEEN NEW AND OLD PLASTERBOARD TO BE SEAMLESS

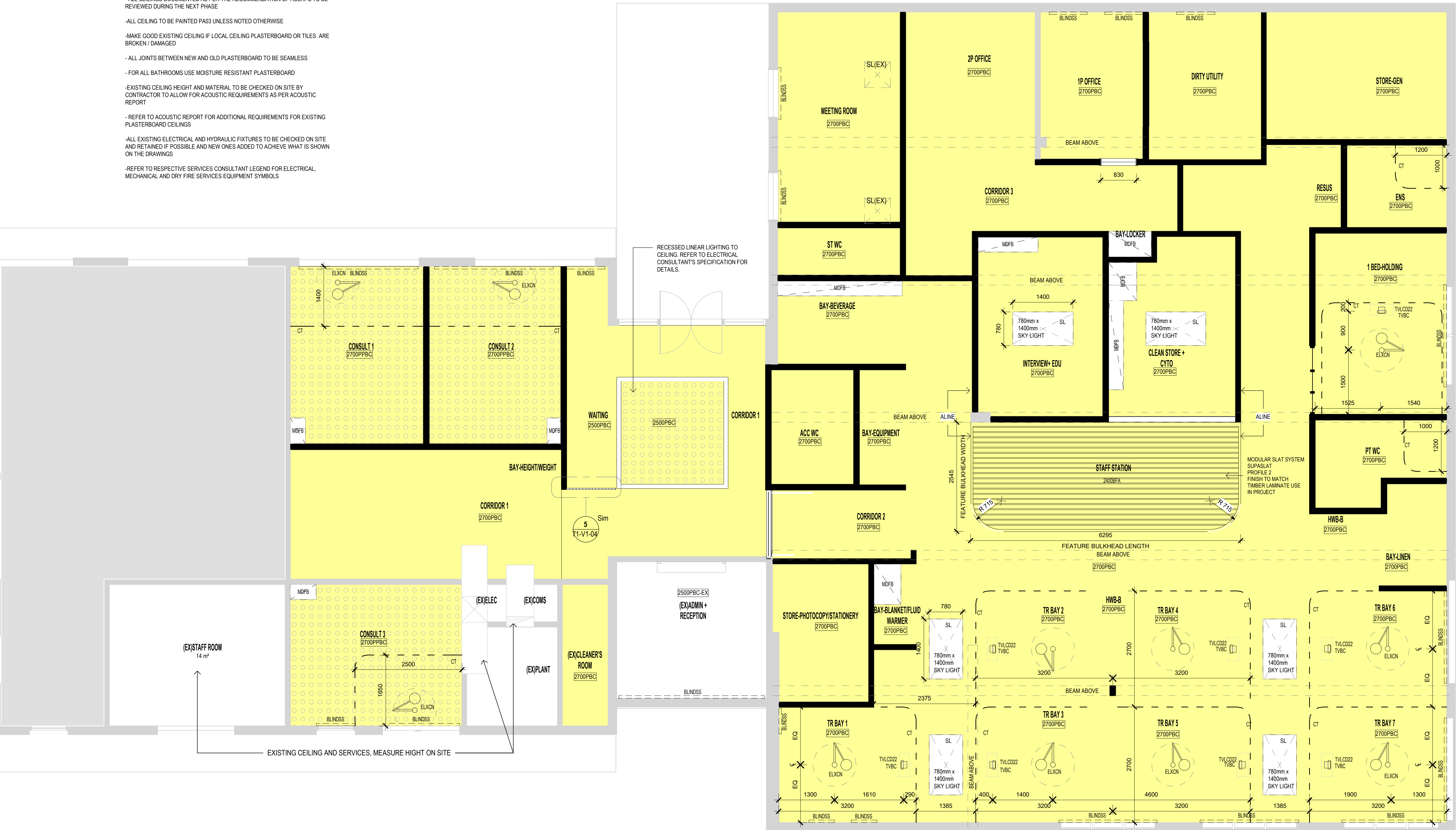
- FOR ALL BATHROOMS USE MOISTURE RESISTANT PLASTERBOARD

- EXISTING CEILING HEIGHT AND MATERIAL TO BE CHECKED ON SITE BY CONTRACTOR TO ALLOW FOR ACOUSTIC REQUIREMENTS AS PER ACOUSTIC REPORT

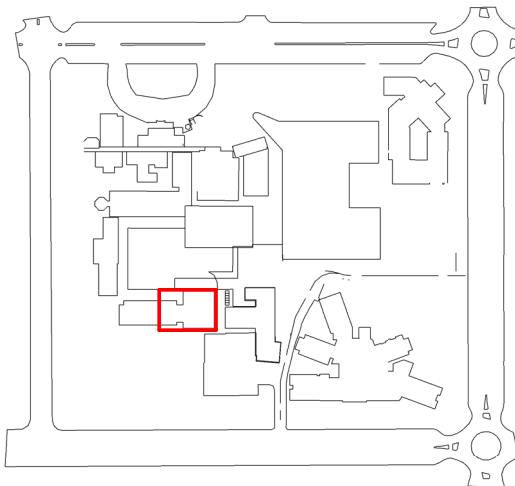
- REFER TO ACOUSTIC REPORT FOR ADDITIONAL REQUIREMENTS FOR EXISTING PLASTERBOARD CEILINGS

- ALL EXISTING ELECTRICAL AND HYDRAULIC FIXTURES TO BE CHECKED ON SITE AND RETAINED IF POSSIBLE AND NEW ONES ADDED TO ACHIEVE WHAT IS SHOWN ON THE DRAWINGS

- REFER TO RESPECTIVE SERVICES CONSULTANT LEGEND FOR ELECTRICAL, MECHANICAL AND DRY FIRE SERVICES EQUIPMENT SYMBOLS



KEY PLAN



REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION	DP	23/02/2022
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

COPYRIGHT

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

DIMENSIONS

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

FIXTURES, FITTINGS & EQUIPMENT SPECIFICATIONS

SUBSTITUTE FF&E EQUIPMENT SPECIFICATIONS
THE FIT-OUT DESIGN AND DOCUMENTATION HAS BEEN COMPLETED ON THE BASIS OF FF&E AND EQUIPMENT ADVISED TO THIS OFFICE AT THE TIME OF BRIEFING THE DESIGN. THE DESIGN PROVISIONS FOR FF&E AND EQUIPMENT INCORPORATES SPATIAL ALLOCATIONS, SERVICING, LOADING AND ACCESS CLEARANCES AND WHERE APPROPRIATE SERVICES REQUIREMENTS, HAVING DUE REGARD FOR SURROUNDING FIXTURES AND FITTINGS. IT SHOULD BE NOTED THAT SUBSTITUTE FF&E OR EQUIPMENT WITH ALTERNATE SPECIFICATIONS SHOULD NOT BE PROCURED PRIOR TO VALIDATING THOSE SPECIFICATIONS AGAINST THE ITEM CONTROL SCHEDULE AND DESIGN PROVISIONS IN THE MODEL. THIS OFFICE ACCEPTS NO RESPONSIBILITY FOR THE PROCUREMENT OF SUBSTITUTE FF&E AND EQUIPMENT WHICH HAS NOT BEEN REVIEWED AND VALIDATED AGAINST THE ORIGINAL DESIGN PROVISIONS.

SERVICE POINTS DISCLAIMER

THE SERVICE POINTS IDENTIFIED ON THESE DRAWINGS HAVE BEEN OVERLAYED FROM THE BUILDING SERVICES ENGINEERING MODEL, AND ARE PROVIDED FOR INFORMATION AND SET-OUT PURPOSES ONLY. WE HAVE BEEN ADVISED BY THE SERVICES ENGINEERS THAT THE POINTS REPRESENTED ON THESE DRAWINGS ARE CORRECT AT THE TIME OF PUBLICATION. THIS OFFICE DOES NOT WARRANT THE ACCURACY OF THIS DATA. REFER TO THE BUILDING SERVICES ENGINEERING DOCUMENTATION FOR THE INSTALLATION OF THE SERVICE POINTS, AND THE INTERFACE BETWEEN THE SERVICE POINTS AND THE RESPECTIVE ENGINEERING SYSTEMS.

ISSUED FOR INFORMATION

ARCHITECTS



ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF
SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065
AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT



PROJECT MANAGER



Level 19, 9 Hunter Street,
Sydney NSW 2000

PH: (02) 8272 9300

PROJECT

Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

DRAWING TITLE

**ONCOLOGY
REFLECTED CEILING PLAN**

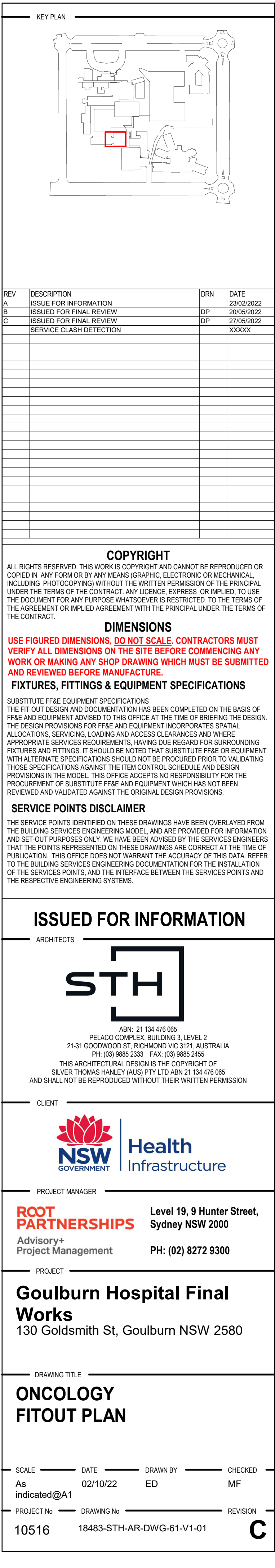
SCALE: As indicated@A1 DATE: 02/10/22 DRAWN BY: JE CHECKED: MF

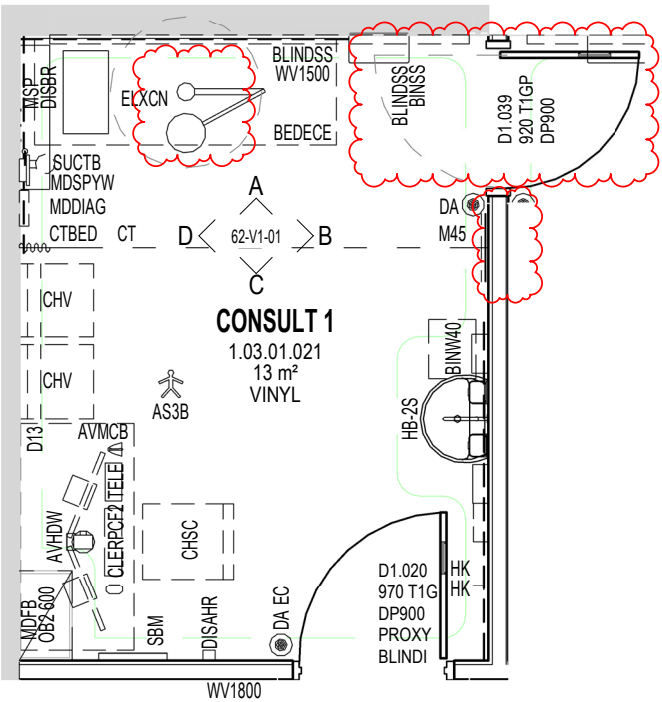
PROJECT No: 10516 DRAWING No: 18483-STH-AR-DWG-30-V1-01 REVISION: C

1 REFLECTED CEILING PLAN
SCALE: 1:50

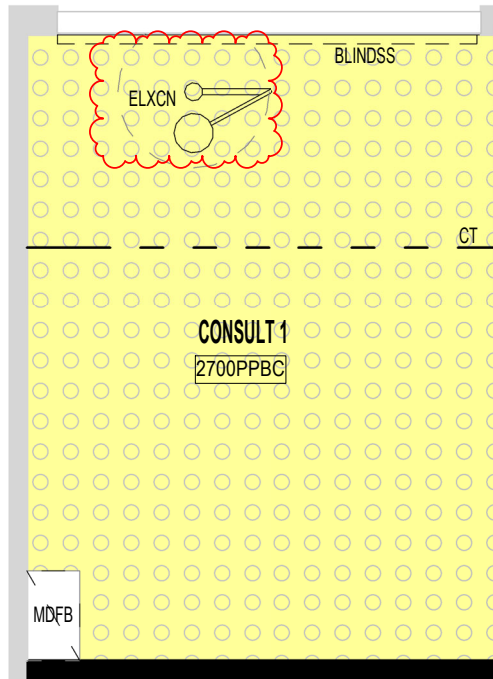
ONCOLOGY				
Code	Room Name	Area	SOA Requirements	Comments
CONS	CONSULT 1	12.8 m²	12.0 m²	
CONS	CONSULT 2	12.7 m²	12.0 m²	
CONS	CONSULT 3	13.2 m²	12.0 m²	
DTUR-10	DIRTY UTILITY	9.0 m²	10.0 m²	
ENS-ST	ENS	4.5 m²	5.0 m²	
INTV	INTERVIEW+ EDU	12.2 m²	9.0 m²	
MEET-L-15	MEETING ROOM	14.0 m²	15.0 m²	
OFF-2P	2P OFFICE	10.8 m²	12.0 m²	
OFF-S9	1P OFFICE	8.2 m²	9.0 m²	
RECL-10	(EX)STAFF ROOM	13.5 m²	10.0 m²	
SSTN-10	STAFF STATION	14.9 m²	10.0 m²	
STGN-9	STORE-GEN	12.5 m²	9.0 m²	
STPS-8	STORE-PHOTOCOPY/STATIONERY	7.1 m²	8.0 m²	
TRMT-CHE	TR BAY 1	8.7 m²	9.0 m²	
TRMT-CHE	TR BAY 2	8.2 m²	9.0 m²	
TRMT-CHE	TR BAY 3	8.6 m²	9.0 m²	
TRMT-CHE	TR BAY 4	8.2 m²	9.0 m²	
TRMT-CHE	TR BAY 5	8.6 m²	9.0 m²	
TRMT-CHE	TR BAY 6	8.6 m²	9.0 m²	
TRMT-CHE	TR BAY 7	8.6 m²	9.0 m²	
WAIT-10	WAITING	9.0 m²	10.0 m²	
WCAC	ACC WC	5.1 m²	6.0 m²	
WCPT	PT WC	5.2 m²	4.0 m²	
WCST	ST WC	3.1 m²	3.0 m²	
Grand total		403.1 m²	263.5 m²	

ONCOLOGY				
Code	Room Name	Area	SOA Requirements	Comments
CONS	CONSULT 1	12.8 m²	12.0 m²	
CONS	CONSULT 2	12.7 m²	12.0 m²	
CONS	CONSULT 3	13.2 m²	12.0 m²	
DTUR-10	DIRTY UTILITY	9.0 m²	10.0 m²	
ENS-ST	ENS	4.5 m²	5.0 m²	
INTV	INTERVIEW+ EDU	12.2 m²	9.0 m²	
MEET-L-15	MEETING ROOM	14.0 m²	15.0 m²	
OFF-2P	2P OFFICE	10.8 m²	12.0 m²	
OFF-S9	1P OFFICE	8.2 m²	9.0 m²	
RECL-10	(EX)STAFF ROOM	13.5 m²	10.0 m²	
SSTN-10	STAFF STATION	14.9 m²	10.0 m²	
STGN-9	STORE-GEN	12.5 m²	9.0 m²	
STPS-8	STORE-PHOTOCOPY/STATIONERY	7.1 m²	8.0 m²	
TRMT-CHE	TR BAY 1	8.7 m²	9.0 m²	
TRMT-CHE	TR BAY 2	8.2 m²	9.0 m²	
TRMT-CHE	TR BAY 3	8.6 m²	9.0 m²	
TRMT-CHE	TR BAY 4	8.2 m²	9.0 m²	
TRMT-CHE	TR BAY 5	8.6 m²	9.0 m²	
TRMT-CHE	TR BAY 6	8.6 m²	9.0 m²	
TRMT-CHE	TR BAY 7	8.6 m²	9.0 m²	
WAIT-10	WAITING	9.0 m²	10.0 m²	
WCAC	ACC WC	5.1 m²	6.0 m²	
WCPT	PT WC	5.2 m²	4.0 m²	
WCST	ST WC	3.1 m²	3.0 m²	
Grand total		403.1 m²	263.5 m²	

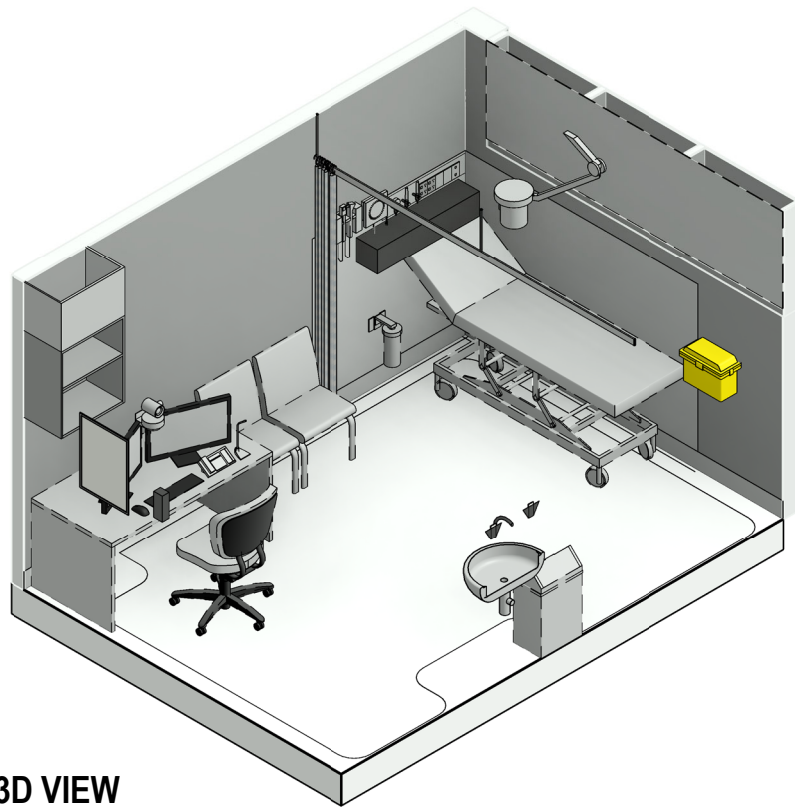




FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

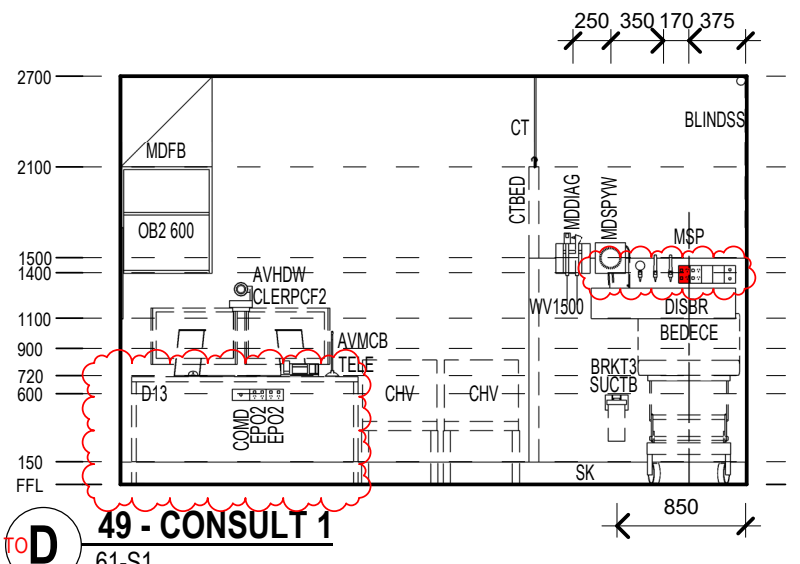
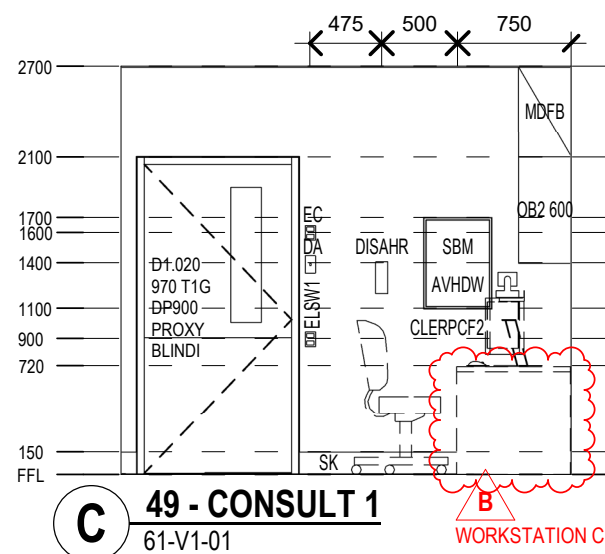
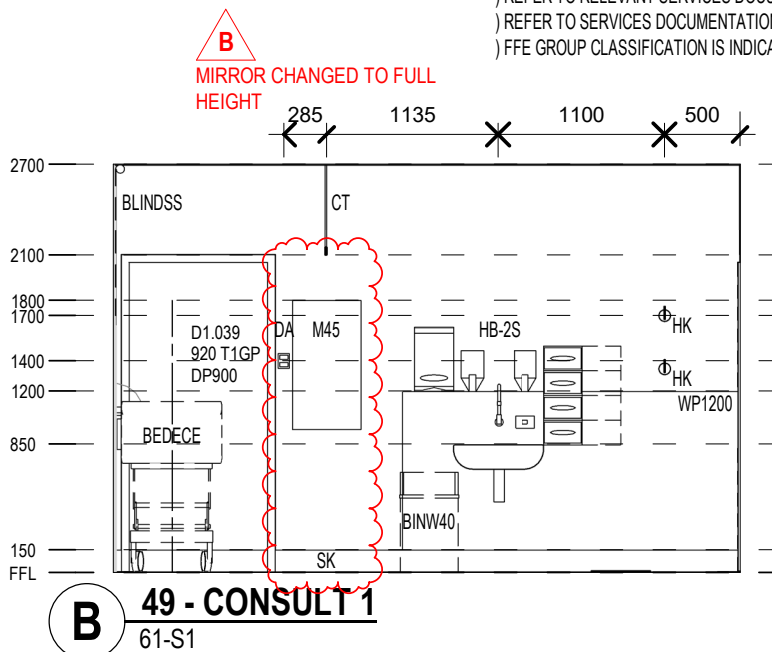
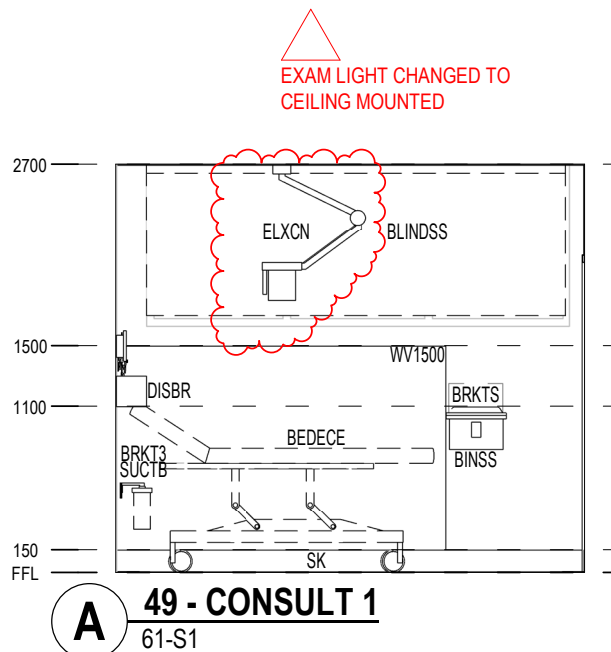
- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:

- EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
- FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
- MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
- REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
- REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
- FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

RLS Item List - 1.03.01.021 - CONSULT			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
COMD	ELECTRICAL FIXTURE : DATA OUTLET ▯ SINGLE	1	1
COMDD	ELECTRICAL FIXTURES : DATA OUTLET ▯ DOUBLE	1	1
CT	Curtain Track - Removable Cassette Type	1	1
DA	DURESS ALARM	1	2
EC	EMERGENCY CALL	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
ELXCN	LIGHTING ▯ CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2		1	3
EPOE2	ELECTRICAL FIXTURES: DOUBLE ESSENTIAL POWER OUTLET	1	1
EPRCD	ELECTRICAL FIXTURES - RESIDUAL CURRENT DEVICE	1	2
HB2S	Handwash Basin - Patient with Sensor Tap	1	1
HK	Hook - Hat & Coat - Standard	1	3
M45	MIRROR - 450W X 850H	1	1
MDFB	BULKHEAD - MDF	1	1
MSP	MEDICAL SERVICES PANEL	1	1
OB2 600	OB CUPBOARD - WITHOUT DOORS 700H 600W 350D	1	1
PSP	PLUMBING ▯ SENSOR OUTLET (WALL MOUNTED)	1	1
SBM	SPIRIT / WHITE BOARD MAGNETIC	1	1
T1G	Door - Single Leaf Glazed Panel	1	1
AVHDW	AUDIO VISUAL - HD CAMERA WALL MOUNTED	2	1

RLS Item List - 1.03.01.021 - CONSULT			
Item Code	Description	Group	Count
AVMCB	AUDIO VISUAL - MICROPHONE BENCH MOUNTED	2	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAD	Dispenser - Antiseptic	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
DISBR	Dispenser - Bed Roll	2	1
DISGD	DISPENSER - GLOVE - 4 SIZES	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
MDDIAG	DIAGNOSTIC EQUIPMENT - DIAGNOSTIC DISPENSER SET	2	1
MDSPLYW	DIAGNOSTIC EQUIPMENT - SPHYGMOMANOMETER (WALL MOUNTED)	2	1
NOSCHED	DIAGNOSTIC SET	2	1
AFLOW	AIR FLOWMETER	3	1
BEDECE	BED - EXAMINATION COUCH ELECTRIC	3	1
BINSS	BIN - SHARPS DISPOSAL SMALL, WALL MOUNTED	3	1
BINW40	Bin - Waste 40 Litre	3	1
CHSC	CHAIR - STAFF CLERICAL ERGONOMIC MEDIUM BACK	3	1
CHV	CHAIR - VISITOR	3	2
CLERPCF2	CLERICAL - 2No. FLAT SCREENS AND PC	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
D13	DESK - STANDARD, 1500 X 750	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TELE	TELEPHONE HANDSET - STANDARD	3	1



REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION		23/02/2022
B	DD 1 PUG REVISIONSS		##/04/2022
C	ISSUED FOR FINAL REVIEW	DP	20/05/2022
D	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY
WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED
AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE
REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS
(GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING
PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE
PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE,
EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT
OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS
OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS
DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS
HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE
REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

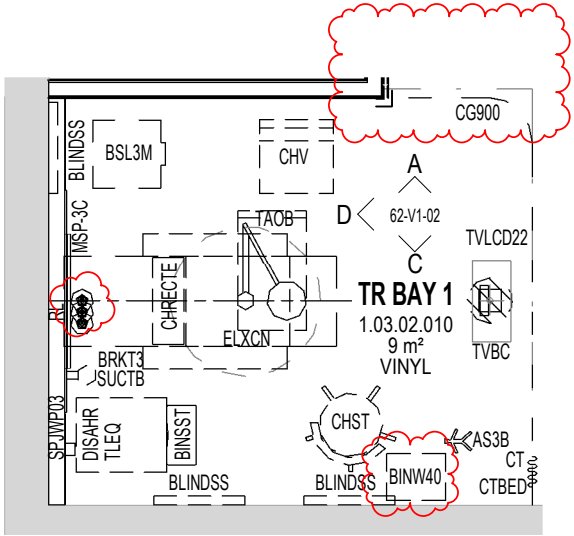
ISSUED FOR INFORMATION

DRAWING TITLE

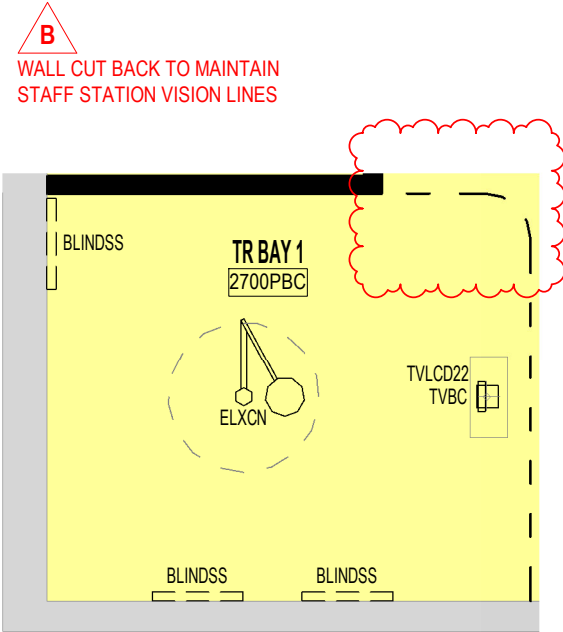
**ROOM LAYOUT SHEET
ONCOLOGY
CONSULT**

SCALE 1 : 50@A3 DATE 02/14/22 DRAWN BY ED CHECKED CS

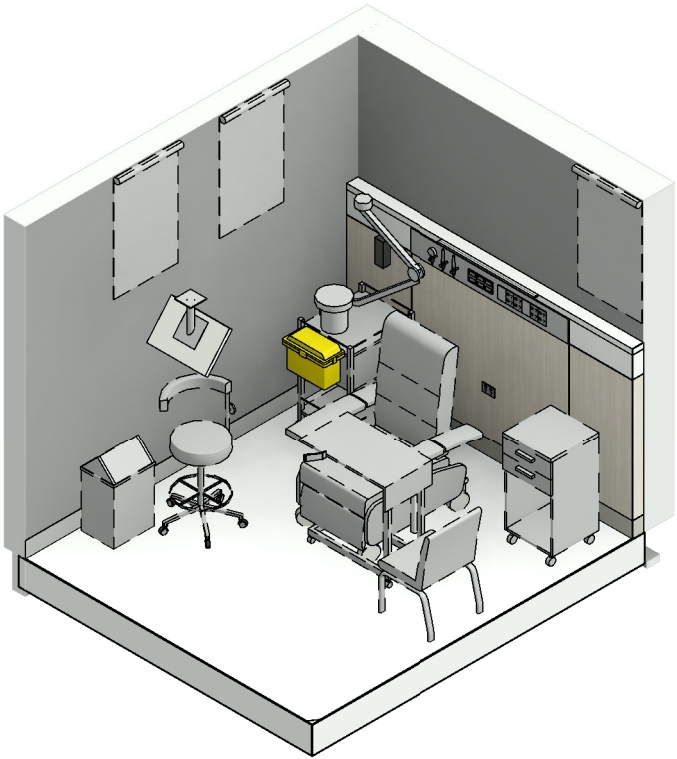
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-01 REVISION **D**



FLOOR PLAN

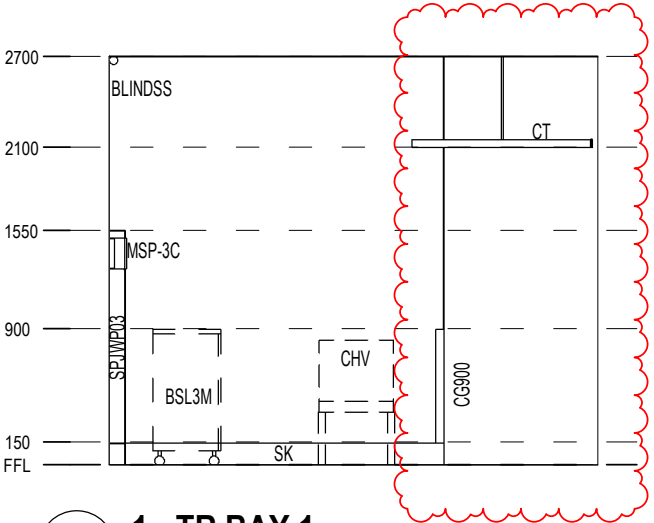


REFLECTED CEILING PLAN

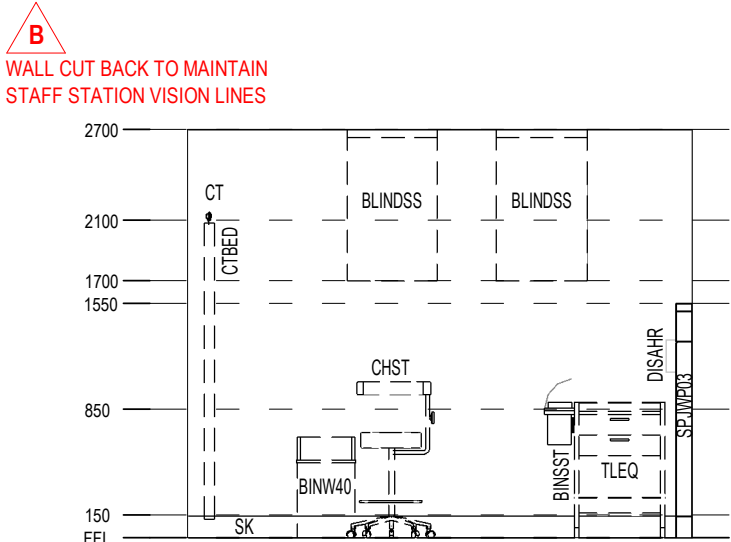


3D VIEW

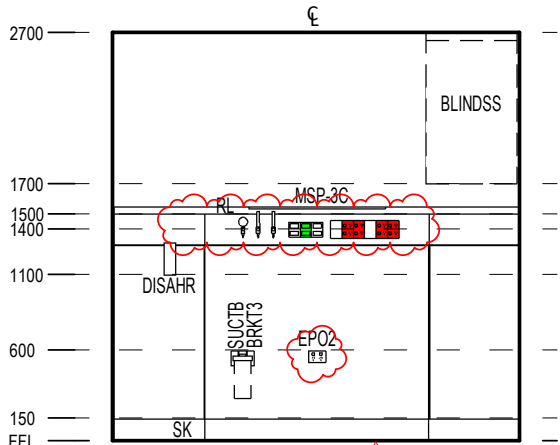
RLS Item List -1.03.02.010- TR BAY 1			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	3
CG900	CORNER GUARD 900 HIGH	1	1
EC	EMERGENCY CALL	1	1
ELXCN	LIGHTING - CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2	DOUBLE POWER OUTLET	1	1
EPOE2	ELECTRICAL FIXTURES- DOUBLE ESSENTIAL POWER OUTLET	1	4
EPRCD	ELECTRICAL FIXTURES - RESIDUAL CURRENT DEVICE	1	2
MSP-3C	MEDICAL SERVICES PANEL	1	1
NC	NURSE CALL BUTTON	1	1
RL	LIGHT: reading light	1	1
SA	NURSE CALL BUTTON - STAFF ASSIST	1	1
SPJWP03	SPECIAL JOINERY - WALL PANEL	1	1
TVBC	TV Ceiling Bracket	1	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCD22	TELEVISION - LCD FULL HD TV 22" 2MP	2	1
AFLOW	AIR FLOWMETER	3	1
BINW40	Bin - Waste 40 Litre	3	1
BRKTST	BRACKET - SHARPS DISPOSAL, TROLLEY MOUNTED	3	1
CHRECTE	CHAIR - RECLINER - TREATMENT, ELECTRIC	3	1
CHST	CHAIR - STOOL	3	1
CHV	CHAIR - VISITOR	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TAOB	TABLE - PATIENT - OVERBED	3	1
BSL3M	BEDSIDE LOCKER WITH DRAWERS AND OPEN UNDER, MOBILE	3T	1
TLEQ	TROLLEY - EQUIPMENT	3T	1
BINSST	BIN - SHARPS DISPOSAL SMALL, TROLLEY MOUNTED	4	1



A 1 - TR BAY 1
61-V1-01



C 1 - TR BAY 1
61-V1-01



D 1 - TR BAY 1
61-V1-01

B
POWER REQUIRED FOR
RECLINER CHAIR

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

DATA OUTLETS

NOTE:

- 1) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
- 2) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
- 3) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
- 4) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
- 5) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
- 6) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION		23/02/2022
B	DD 1 PUG REVISIONSS		##/04/2022
C	ISSUED FOR FINAL REVIEW	DP	20/05/2022
D	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS



ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT



PROJECT
Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

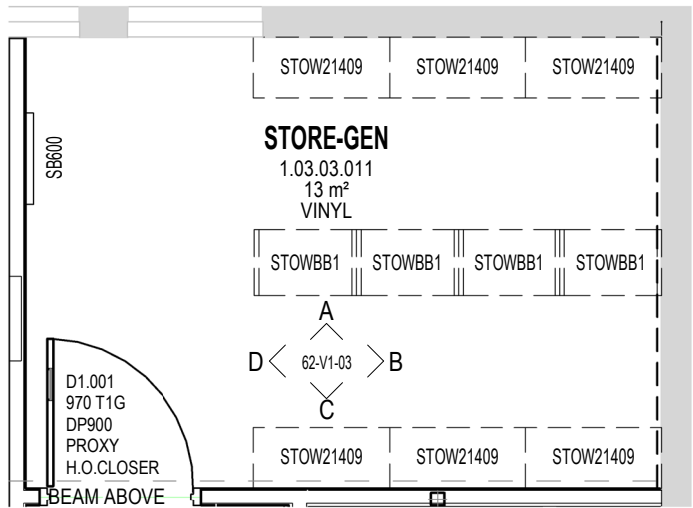
ISSUED FOR INFORMATION

DRAWING TITLE

**ROOM LAYOUT SHEET
ONCOLOGY
TREATMENT BAY**

SCALE 1 : 50@A3 DATE 02/14/22 DRAWN BY ED CHECKED CS

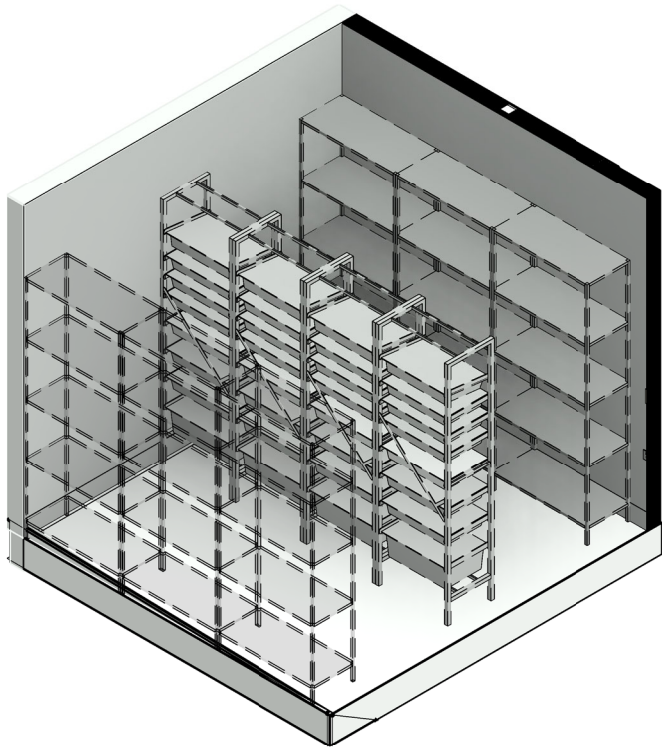
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-02 REVISION D



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

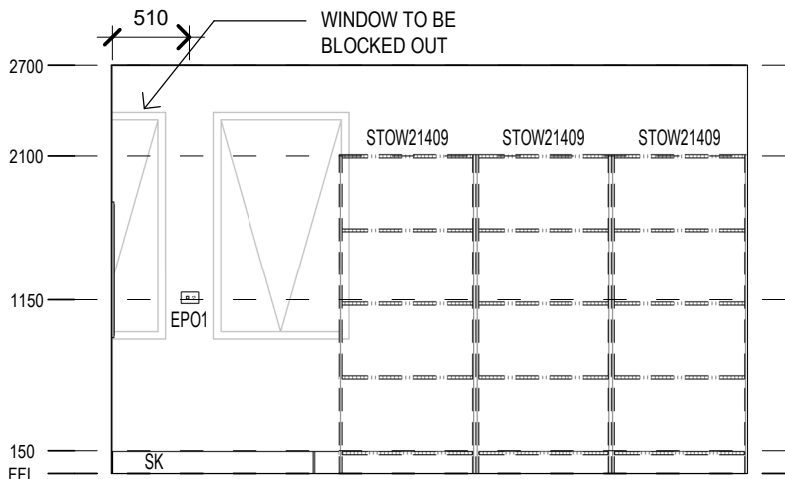
RLS Item List -1.03.03.011 - STORAGE GEN			
Item Code	Description	Group	Count
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
EPO1	SINGLE POWER OUTLET	1	1
EPO2	DOUBLE POWER OUTLET	1	1
SB600	SPIRIT / WHITE BOARD - 600 LONG	1	1
T1G	Door - Single Leaf Glazed Panel	1	1
STOWBB1	Basket Storage Layout B Starter Bay 673w X 435D	2	4
STOW21409	STORAGE UNIT - METAL SHELVING UNIT 2100H X 400D X 900W	3	6

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

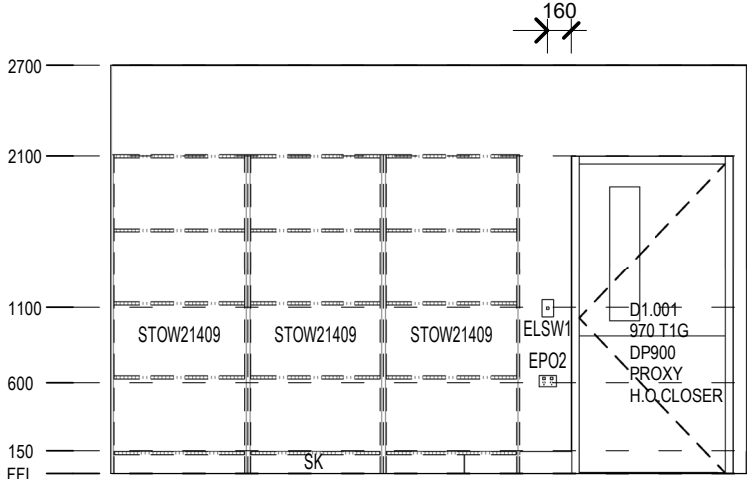
NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



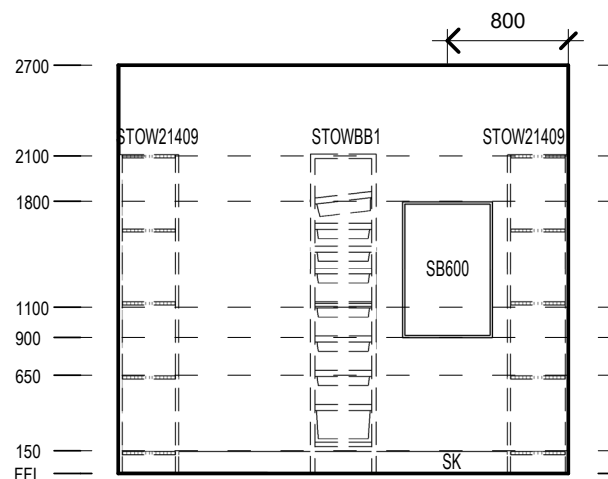
A 21 - STORE-GEN
61-S1



B 21 - STORE-GEN
61-S1



C 21 - STORE-GEN
61-S1



D 21 - STORE-GEN
61-S1

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

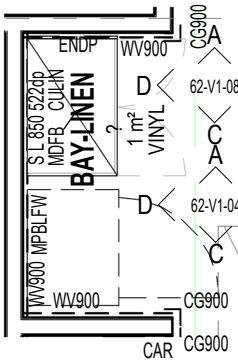
ISSUED FOR INFORMATION

DRAWING TITLE

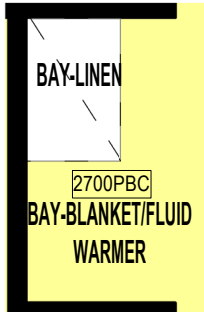
**ROOM LAYOUT SHEET
ONCOLOGY
STORAGE GENERAL**

SCALE 1 : 50@A3 DATE 02/14/22 DRAWN BY ED CHECKED CS

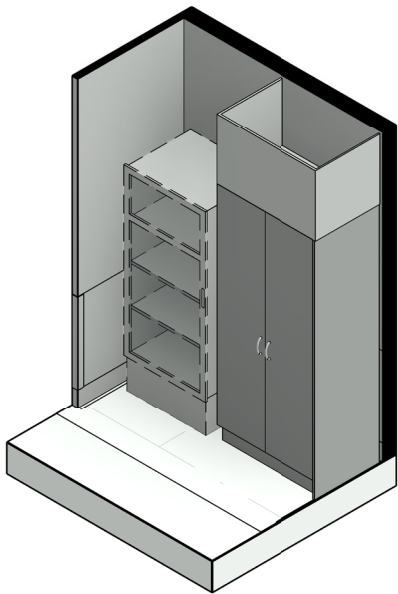
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-03 REVISION **C**



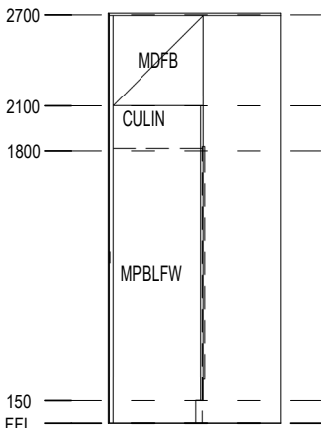
FLOOR PLAN



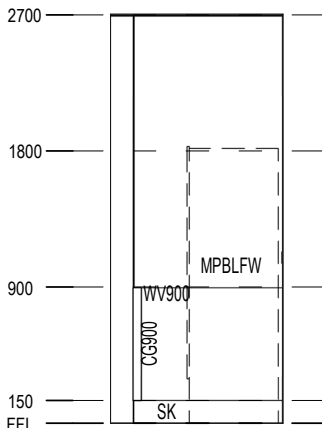
REFLECTED CEILING PLAN



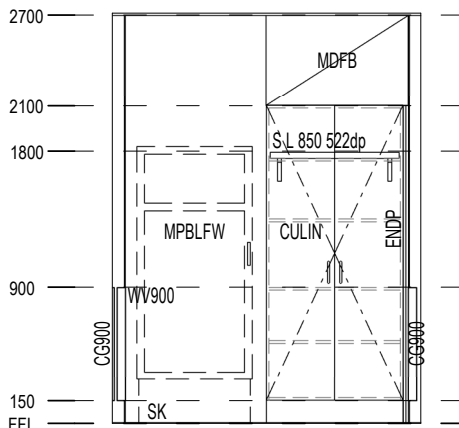
3D VIEW



A 22 - BAY - BLANKET
61-V1-01



C 22 - BAY - BLANKET
61-V1-01



D 22 - BAY - BLANKET
61-V1-01



RLS Item List -1.03.02.034 - BAY BLANKET			
Item Code	Description	Group	Count
COMDD	DATA OUTLET - DOUBLE	1	1
EPO2	DOUBLE POWER OUTLET	1	1
MPBLFW	Medical Patient Support Equipment - Blanket / Fluid Warmer	3	1

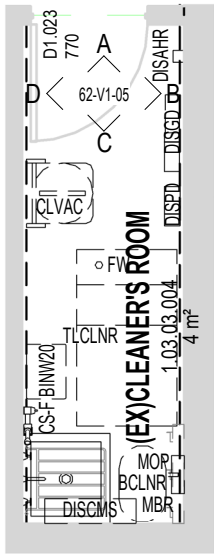
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

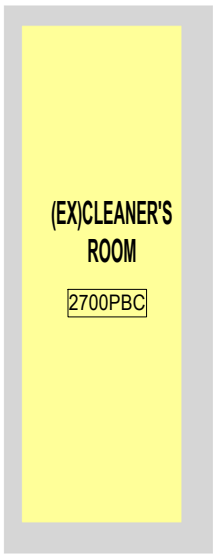
- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

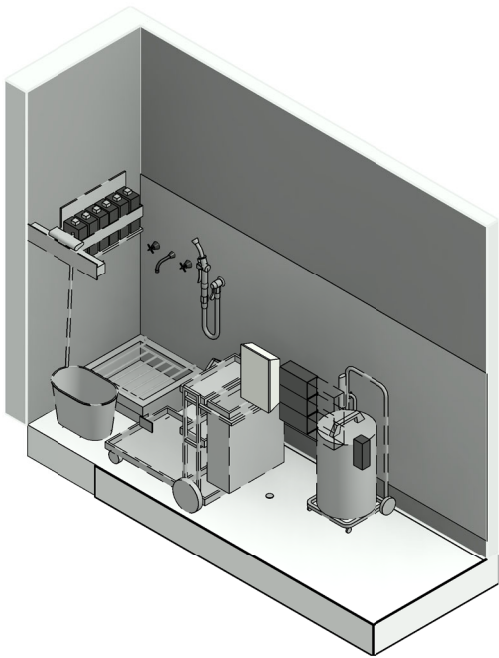
REV	DESCRIPTION	DRN	DATE	ARCHITECTS		CLIENT	DRAWING TITLE			
A	ISSUE FOR INFORMATION		23/02/2022	<div>USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.</div>	<div>STH</div> <div>ABN: 21 134 476 065</div> <div>PELACO COMPLEX, BUILDING 3, LEVEL 2</div> <div>21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA</div> <div>PH: (03) 9885 2333 FAX: (03) 9885 2455</div>	<div><div>NSW GOVERNMENT</div><div>Health Infrastructure</div></div> <div>PROJECT</div> <div>Goulburn Hospital Final Works</div> <div>130 Goldsmith St, Goulburn NSW 2580</div>	<div>ROOM LAYOUT SHEET</div> <div>ONCOLOGY</div> <div>BAY-BLANKET/FLUID WARMER</div>			
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022							
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022							
				<div>COPYRIGHT</div> <div>ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.</div>	THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION		<div>SCALE</div> <div>1 : 50@A3</div>	<div>DATE</div> <div>02/15/22</div>	<div>DRAWN BY</div> <div>ED</div>	<div>CHECKED</div> <div>CS</div>
				<div>ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES</div>	ISSUED FOR INFORMATION		<div>PROJECT No</div> <div>10516</div>	<div>DRAWING No</div> <div>18483-STH-AR-DWG-62-V1-04</div>	<div>REVISION</div> <div>C</div>	



FLOOR PLAN



REFLECTED CEILING PLAN



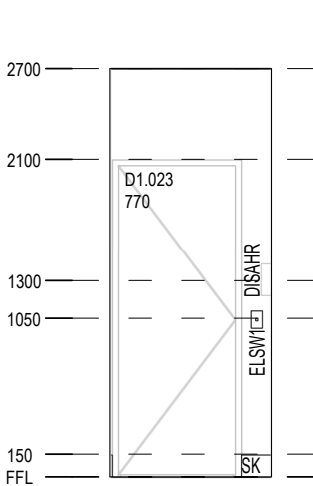
RLS Item List -1.03.03.004 - (EX)CLEANER'S ROOM			
Item Code	Description	Group	Count
BCLNR	Bucket: Cleaner's		1
CSF	SINK - SS CLEANERS SINK FLOOR MOUNTED	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
EPO2	DOUBLE POWER OUTLET	1	1
FW	FLOOR WASTE	1	1
MBR	RACK - MOP & BROOM 660LONG	1	1
PTH	Plumbing - Trigger Hose outlet	1	1
PTSC	Plumbing - Tapware Set, Cleaners Sink	1	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
DISCMS	DISPENSER - CHEMICAL MANAGEMENT SYSTEM	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
BINW20	Bin - Waste 20 Litre	3	1
CLVAC	VACUUM - CLEANERS VACUUM	3	1
DISGD	DISPENSER - GLOVE - 3 SIZES	3	1
MOP	MOP	3	1
TLCLNR	TROLLEY - CLEANER	3	1

SERVICES LEGEND

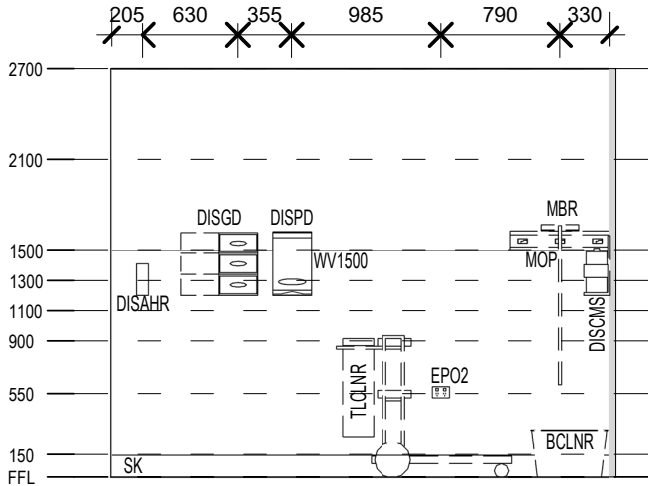
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

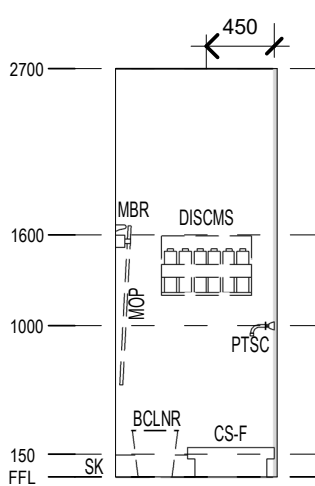
NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



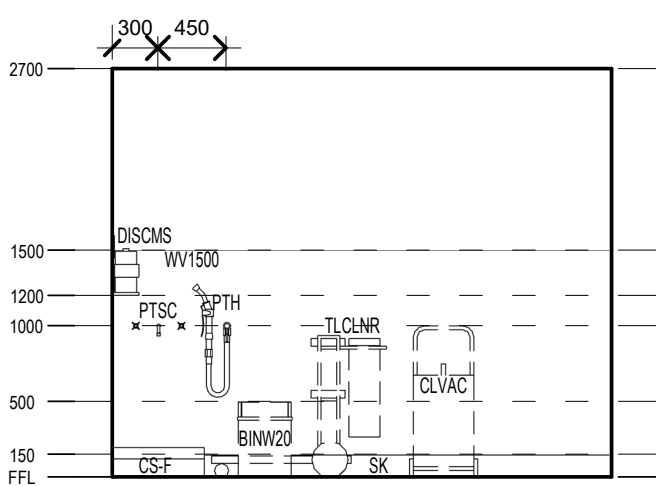
A 57 - (EX)CLEANER'S ROOM
61-V1-01





B 57 - (EX)CLEANER'S ROOM
61-V1-01

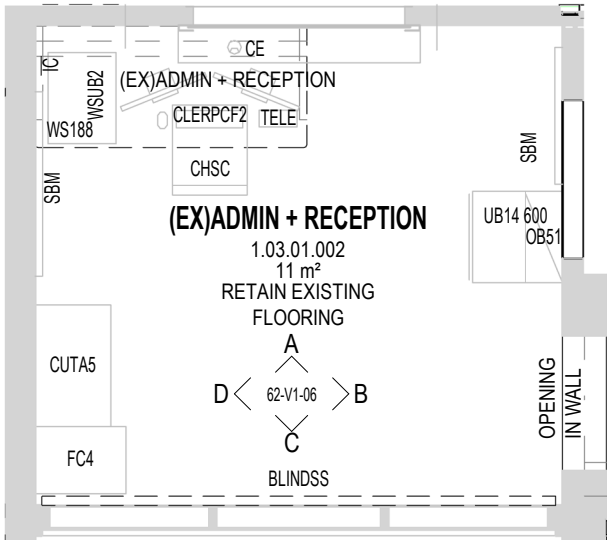


C 57 - (EX)CLEANER'S ROOM
61-V1-01

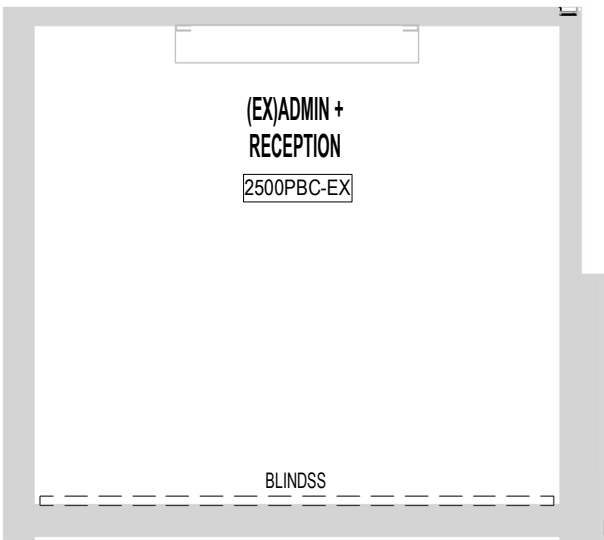


D 57 - (EX)CLEANER'S ROOM
61-V1-01

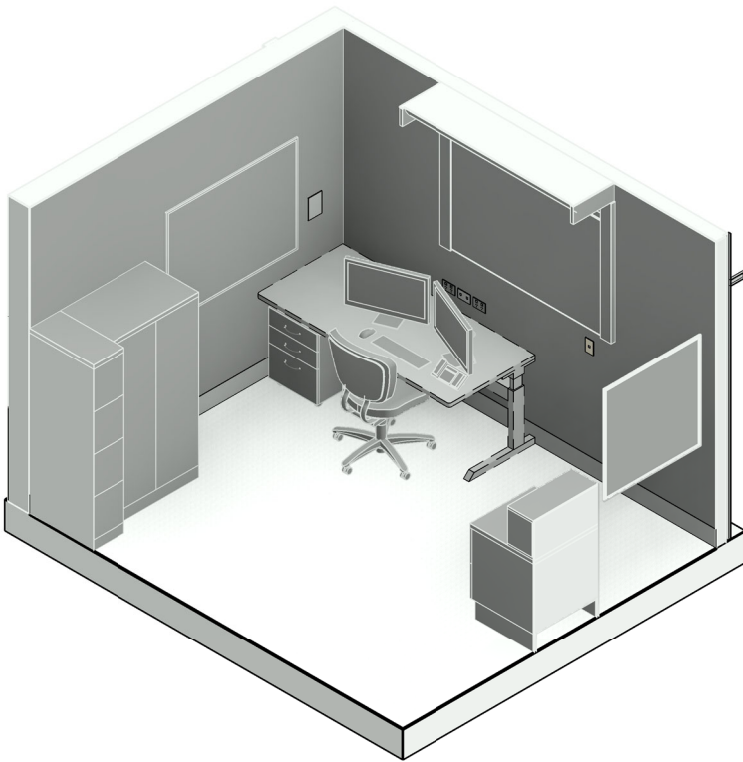
REV	DESCRIPTION	DRN	DATE	DIMENSIONS	ARCHITECTS	CLIENT	DRAWING TITLE
A	ISSUE FOR INFORMATION		23/02/2022	USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	 ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	 Health Infrastructure PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	ROOM LAYOUT SHEET ONGOLOGY (EX)CLEANER'S ROOM
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022				
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022	THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	ISSUED FOR INFORMATION	PROJECT No _____ DRAWING No _____ REVISION _____ 10516 18483-STH-AR-DWG-62-V1-05 C	
							ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.03.01.002 - (EX)ADMIN + RECEPTION			
Item Code	Description	Group	Count
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
CE	CABLE ENTRY CAP	1	1
COMDD	DATA OUTLET ▯ DOUBLE	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
EPO2	DOUBLE POWER OUTLET	1	2
IC	Intercom - Wall Mounted	1	1
OB51	OB CUPBOARD - COUNTER FORM STORAGE 600W	1	1
SBM	SPIRIT / WHITE BOARD MAGNETIC	1	2
UB14 600	UB UNIT WITH 2 DRAWERS 600W	1	1
CHSC	CHAIR - STAFF CLERICAL ERGONOMIC MEDIUM BACK	3	1
CLERPCF2	CLERICAL - 2No. FLAT SCREENS AND PC	3	1
CUTA5	TALL CUP'D WITH TAMBOUR DOOR AND DRAWERS 1500H 800W 500D	3	1
FC4	FILING CABINET - 4 DRAWER	3	1
TELE	TELEPHONE HANDSET - STANDARD	3	1
WS188	WORKSTATION - 1800 X 800DP	3	1
WSUB2	WORKSTATION ▯ UNDERBENCH 3 DRAWER MOBILE UNIT	3	1

SERVICES LEGEND

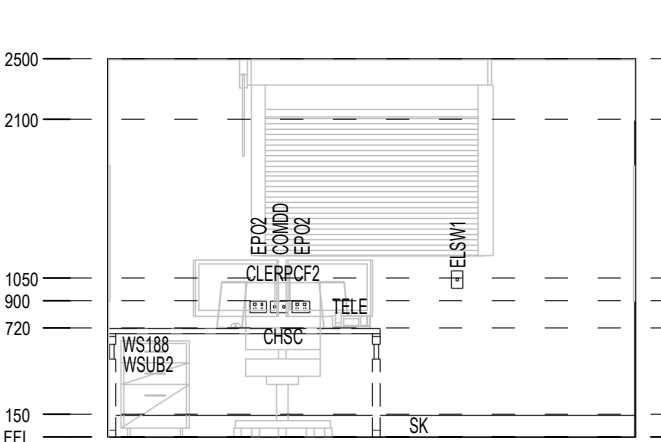
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

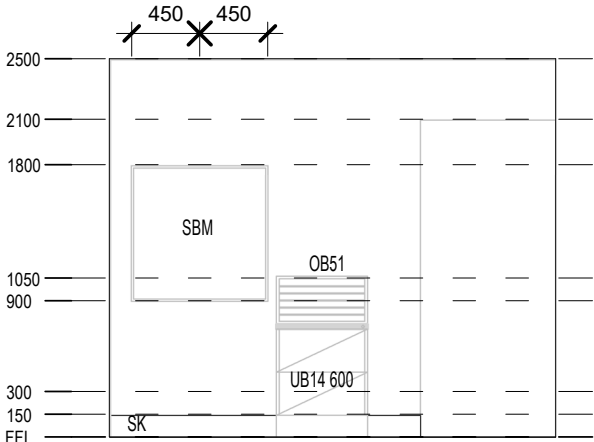
DATA OUTLETS

NOTE:

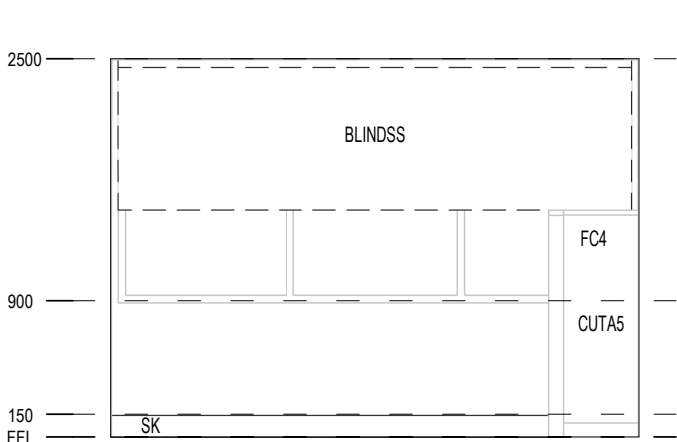
-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



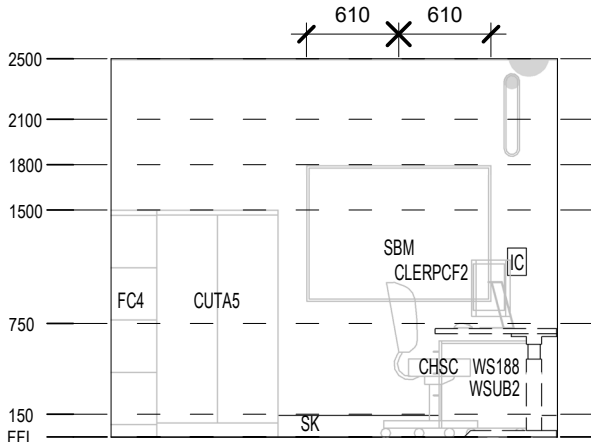
A 59 - (EX)ADMIN + RECEPTION 61-V1-01



B 59 - (EX)ADMIN + RECEPTION 61-V1-01




C 59 - (EX)ADMIN + RECEPTION 61-V1-01



D 59 - (EX)ADMIN + RECEPTION 61-V1-01

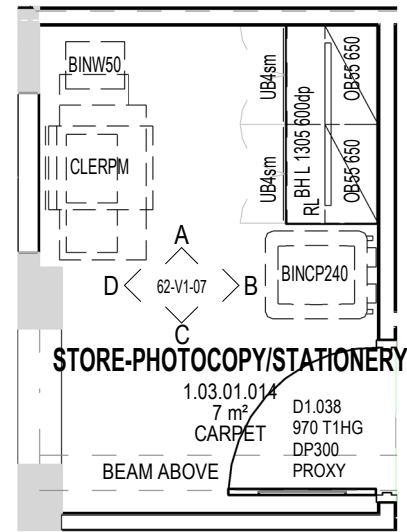
REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

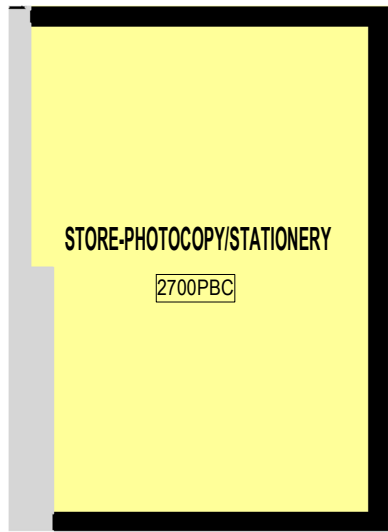
ARCHITECTS	
	
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	

CLIENT	
 	
PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	
ISSUED FOR INFORMATION	

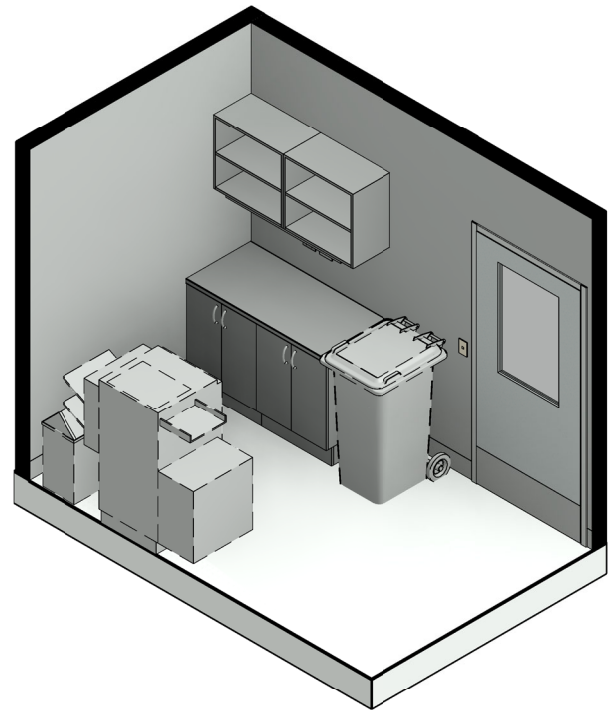
DRAWING TITLE			
ROOM LAYOUT SHEET ONGOLOGY (EX)ADMIN + RECEPTION			
SCALE 1 : 50@A3	DATE 02/15/22	DRAWN BY ED	CHECKED CS
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-V1-06	REVISION	C



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.03.01.014 - STORE-PHOTOCOPY/STATIONERY			
Item Code	Description	Group	Count
BH L	BENCH HIGH LAMINATE FINISH	1	1
COMDD	DATA OUTLET 11 DOUBLE	1	2
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	2
EPO2	DOUBLE POWER OUTLET	1	2
OB55 650	OB CUPBOARD - WITHOUT DOORS 600H 650W 350D	1	2
RL	LIGHT: reading light	1	1
T1HG	Door - Single Leaf Half Glazed	1	1
UB4sm	UB CUPBOARD WITH DOORS SITE MEASURED	1	2
BINCP240	Bin - Confidential Paper 240 Litre	3	1
BINW50	Bin - Waste 50 Litre	3	1
CLERPM	Clerical - Photocopier, Medium Size	3	1

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

■ GENERAL POWER OUTLETS

■ DATA OUTLETS

NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.

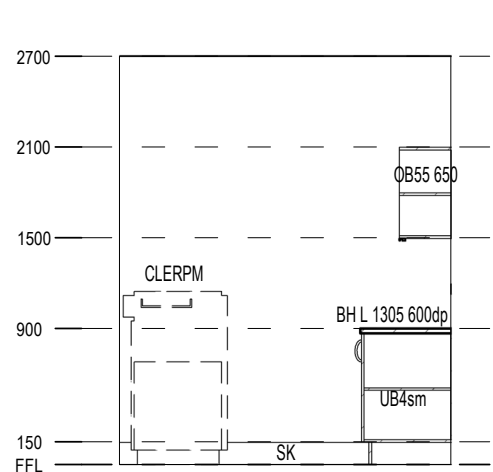
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.

) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.

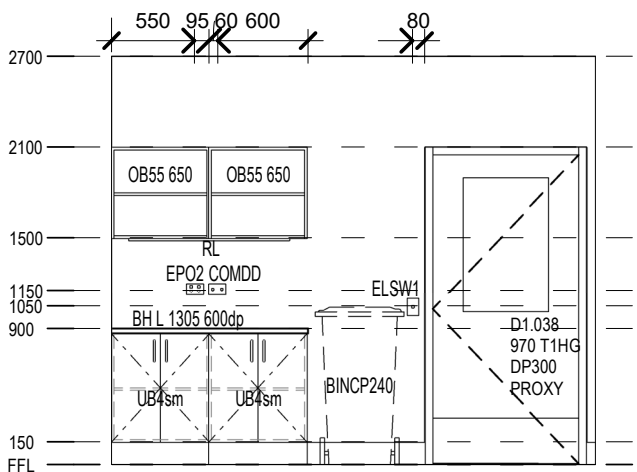
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.

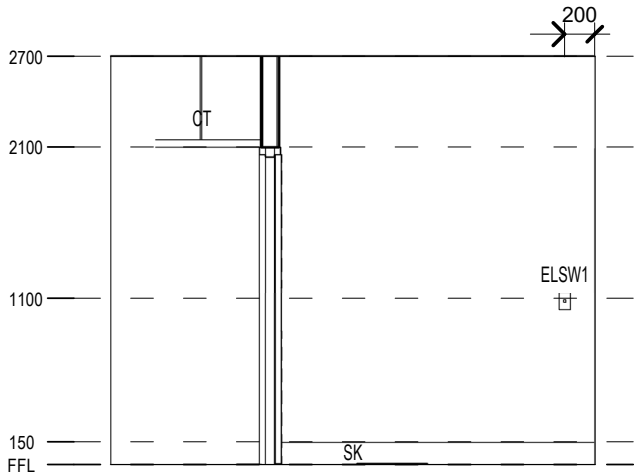
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



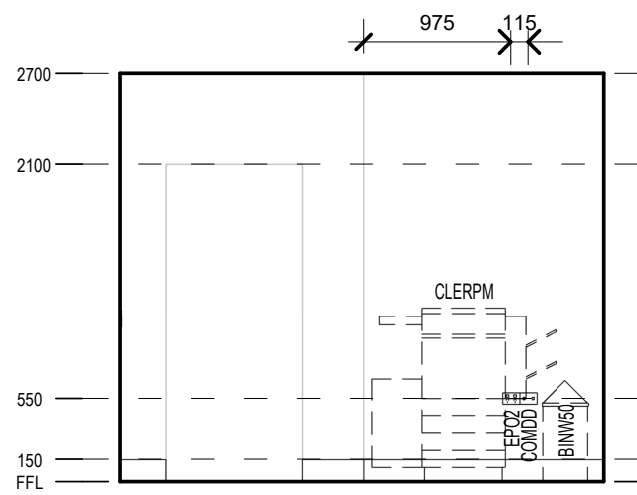
A 18 - STORE-PHO/STATIONERY 61-V1-01





B 18 - STORE-PHO/STATIONERY 61-V1-01

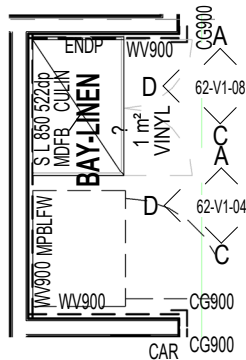


C 18 - STORE-PHO/STATIONERY 61-V1-01

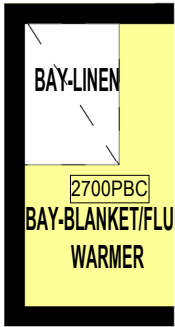


D 18 - STORE-PHO/STATIONERY 61-V1-01

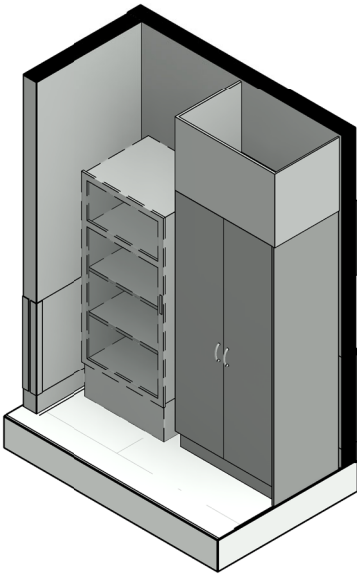
REV	DESCRIPTION	DRN	DATE	ARCHITECTS		CLIENT	DRAWING TITLE
A	ISSUE FOR INFORMATION		23/02/2022	<div>USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.</div>	<div><div>STH</div><div>ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</div><div>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</div></div>	<div><div><div> </div><div>Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580</div><div>ISSUED FOR INFORMATION</div></div></div>	<div>ROOM LAYOUT SHEET ONCOLOGY STORE-PHOTOCOPY/STATIONERY</div> <div>SCALE _____ DATE _____ DRAWN BY _____ CHECKED _____ 1 : 50@A3 02/17/22 Author Checker</div> <div>PROJECT No _____ DRAWING No _____ REVISION _____ 10516 18483-STH-AR-DWG-62-V1-07 C</div>
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022				
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022				
				<div>COPYRIGHT ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.</div>			
				<div>ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES</div>			



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List - 52 - BAY-LINEN			
Item Code	Description	Group	Count
CULIN	TALL LINEN CUP'D WITH DOORS @ 900W	1	1
ENDP	CASEWORK - END PANEL	1	1
MDFB	BULKHEAD - MDF	1	1
S L	SHELF LAMINATE	1	1

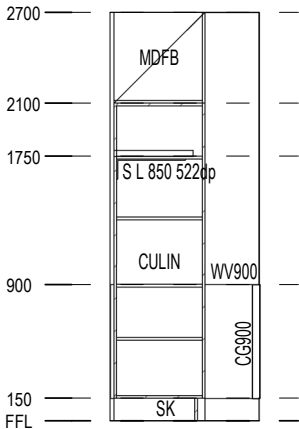
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

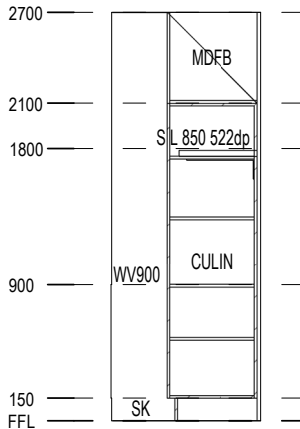
GENERAL POWER OUTLETS

DATA OUTLETS

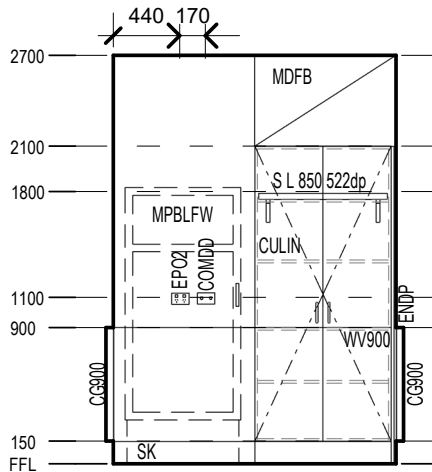
NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



A 52 - BAY-LINEN
61-V1-01



C 52 - BAY-LINEN
61-V1-01



D 52 - BAY-LINEN
61-V1-01

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

PROJECT

Goulburn Hospital Final Works

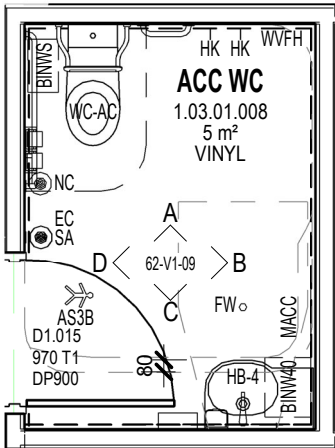
130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

DRAWING TITLE

BAY - LINEN

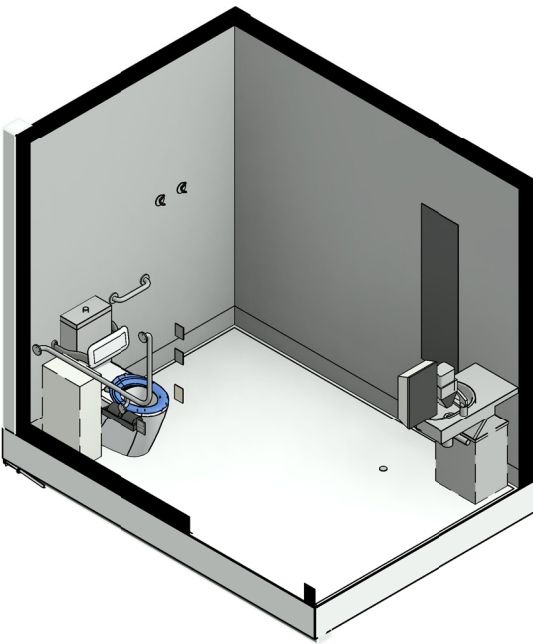
SCALE	DATE	DRAWN BY	CHECKED
1 : 50@A3	02/17/22	Author	Checker
PROJECT No	DRAWING No	REVISION	
10516	18483-STH-AR-DWG-62-V1-08	C	



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.03.01.008 - ACC WC			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BR	BACKREST FOR ACCESSIBLE WC	1	1
EC	EMERGENCY CALL	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
FW	FLOOR WASTE	1	1
GR4A	GRABRAIL ASSISTED WC COMBINATION TYPE A	1	1
HB4	HANDWASH BASIN - ASSISTED	1	1
HK	Hook - Hat & Coat - Standard	1	2
HKD	Hook - assisted Persons	1	1
MACC	MIRROR - ACCESSIBLE	1	1
NC	NURSE CALL BUTTON	1	1
PXBA	PLUMBING - FLICKMIXER BENCH MOUNTED, ACCESSIBLE	1	1
SA	NURSE CALL BUTTON - STAFF ASSIST	1	1
T1	Door - Single Leaf	1	1
WCD	TOILET - ACCESSIBLE	1	1
WV1000	WALL VINYL 1000 HIGH	1	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
DISTPDDB	Dispenser - Toilet Paper - Double	2	1
BINW40	Bin - Waste 40 Litre	3	1
BINWS	BIN - SANITARY NAPKIN	3	1

SERVICES LEGEND

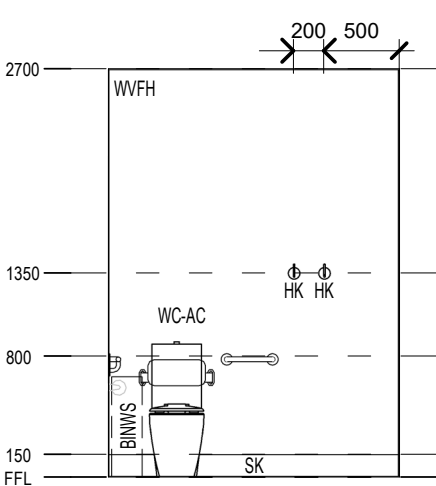
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

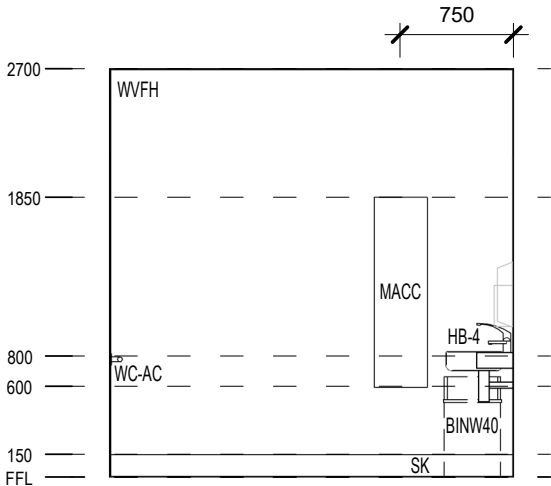
DATA OUTLETS

NOTE:

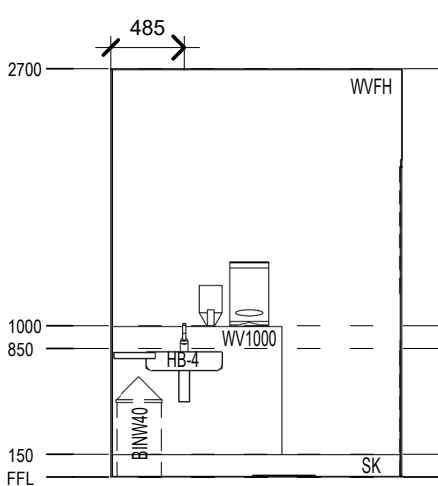
-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



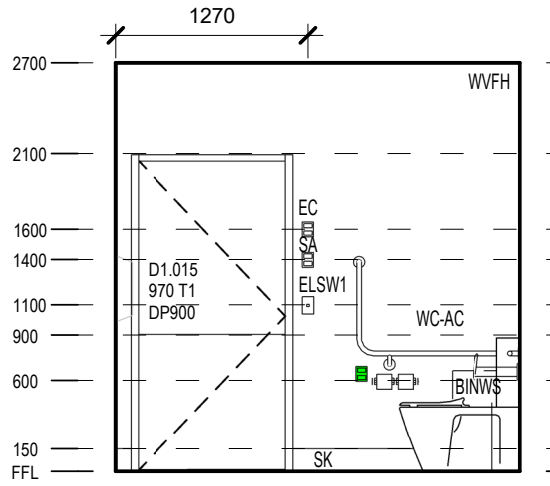
A 15 - ACC WC
61-V1-01



B 15 - ACC WC
61-V1-01




C 15 - ACC WC
61-V1-01



D 15 - ACC WC
61-V1-01

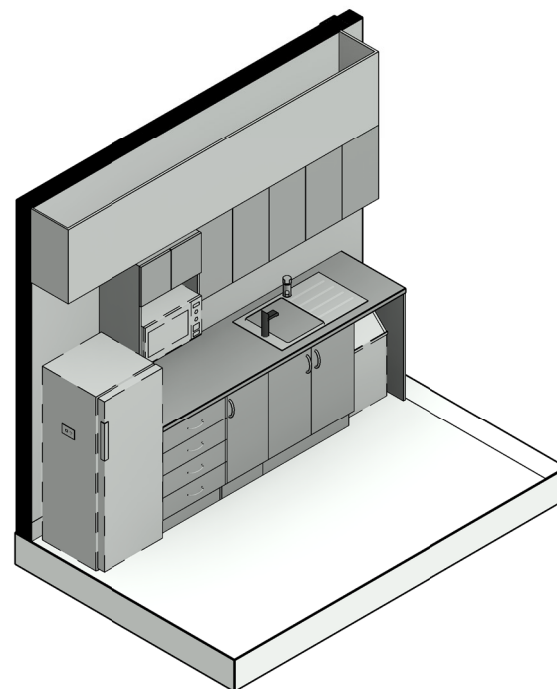
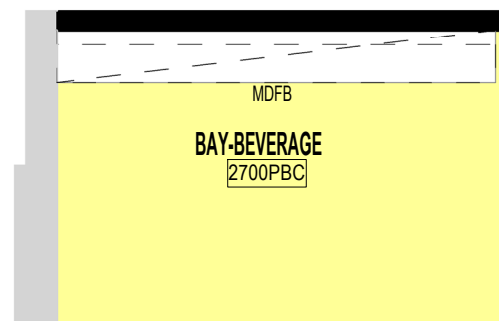
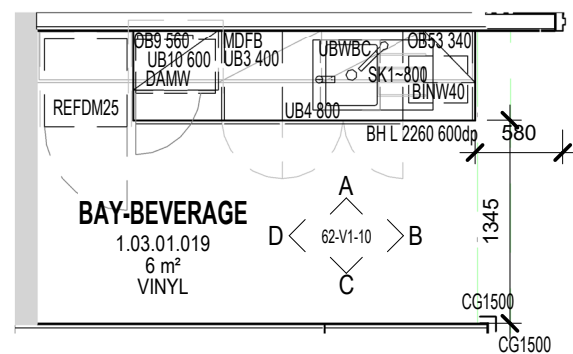
REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

ARCHITECTS	
	
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	

CLIENT	
 	
PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	
ISSUED FOR INFORMATION	

DRAWING TITLE			
ROOM LAYOUT SHEET ONCOLOGY ACCESSIBLE TOILET			
SCALE 1 : 50@A3	DATE 02/17/22	DRAWN BY Author	CHECKED Checker
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-V1-09	REVISION C	



RLS Item List -1.03.01.019 - BAY- BEVERAGE			
Item Code	Description	Group	Count
BH L	BENCH HIGH LAMINATE FINISH	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
ENDP	CASEWORK - END PANEL	1	1
EPO1	SINGLE POWER OUTLET	1	3
EPO2	DOUBLE POWER OUTLET	1	1
MDFB	BULKHEAD - MDF	1	1
OB9 560	OB CUPBOARD - MICROWAVE CBD - 560W	1	1
OB53 340	OB CUPBOARD - WITH DOOR 600H 340W 350D	1	1
OB54 680	OB CUPBOARD - WITH DOORS 600H 680W 350D LOCKABLE	1	2
PTWB	PLUMBING - TEA TAP FOR WATER BOILERS/CHILLERS	1	1
PXBS	PLUMBING - FLICKMIXER BENCH MOUNTED FOR SINKS	1	1
SK1~800	SINK - SINGLE END BOWL SINK	1	1
UB3 400	UB CUPBOARD WITH DOOR 400W	1	1
UB4 800	UB CUPBOARD WITH DOORS 800W	1	1
UB10 600	UB UNIT WITH 4 DRAWERS 600W	1	1
UBWBC	UNDER BENCH WATER BOILER AND CHILLER	1	1
BINW40	Bin - Waste 40 Litre	3	1
DAMW	DOMESTIC APPLIANCE - MICROWAVE OVEN	3	1
REFDM25	REFRIGERATOR - DOMESTIC 250L	3	1

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

 GENERAL POWER OUTLETS

 DATA OUTLETS

NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.

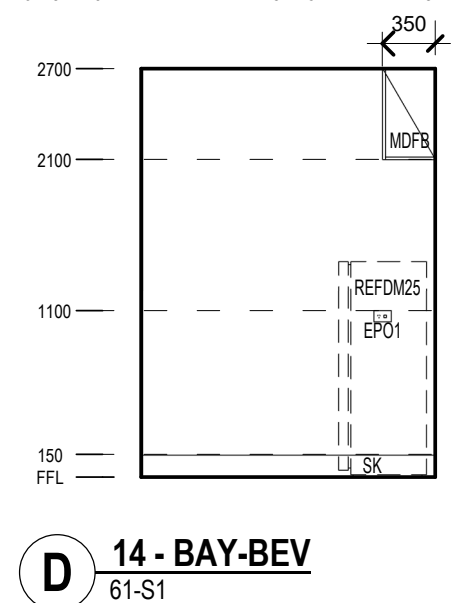
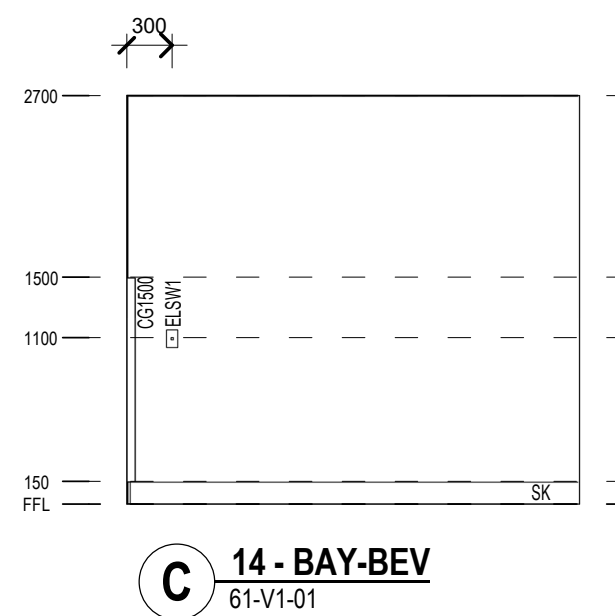
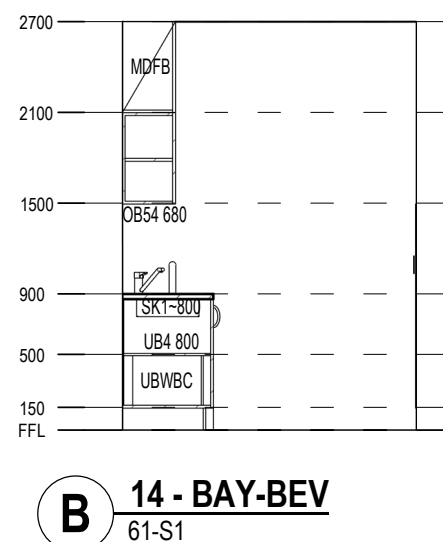
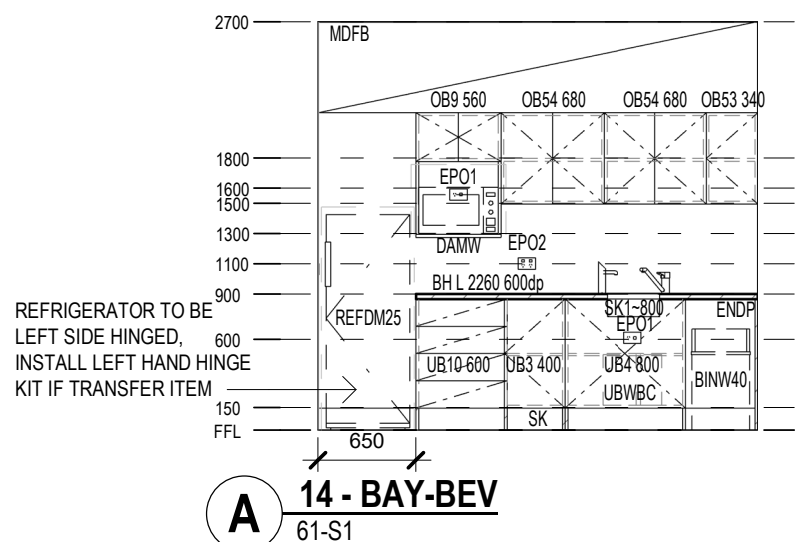
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.

) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.

REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.

FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

[illegible]

DIMENSIONS
USE FIGURED DIMENSIONS, **DO NOT SCALE**. CONTRACTORS MUST
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY
WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED
AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE
REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS
(GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING
PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE
PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE,
EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT
OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS
OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS
DISCLAIMER AND FF&E SPECIFICATION NOTES

- ARCHITECTS



ABN: 21 134 476 065
 PELACO COMPLEX, BUILDING 3, LEVEL 2
 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
 PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS
HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE
REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

- CLIENT



- PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

— DRAWING TITLE

ROOM LAYOUT SHEET

ONCOLOGY

BAY-BEVERAGE

SCALE 1:50@A3 DATE 02/17/22 DRAWN BY Author CHECKED Checker

PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-10 REVISION C



SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION



NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.

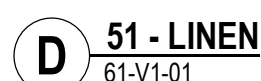
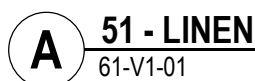
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.

) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.

) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.

FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY
WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED
AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHTED AND CANNOT BE
REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS
GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING
PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE
PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE,
EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT
OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS
OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS
DISCLAIMER AND F&E SPECIFICATION NOTES

 ARCHITECTS

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS
HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE
REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

- CLIENT



130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

— DRAWING TITLE

ROOM LAYOUT SHEET

ONCOLOGY

BAY - LINEN

SCALE 1:50@A3 DATE 02/17/22 DRAWN BY Author CHECKED Checker

PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-11 REVISION C

RLS Item List -1.03.01.004 - WAITING			
Item Code	Description	Group	Count
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
CG900	CORNER GUARD 900 HIGH	1	1
RKMAGS	RACK □ MAGAZINE, SMALL	1	1
SPJSP05	SPECIAL JOINERY - SCREEN PANEL	1	1
SPJWOT4	SPECIAL JOINERY - WATER STATION	1	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
ART	ARTWORK PANEL	3	2
CHV	CHAIR - VISITOR	3	8
CHW	CHAIR - WHEELCHAIR	3	1
D13	DESK - STANDARD, 1500 X 750	3	1
TACFS	TABLE - SMALL COFFEE	3	1

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

 GENERAL POWER OUTLETS

 DATA OUTLETS

NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.

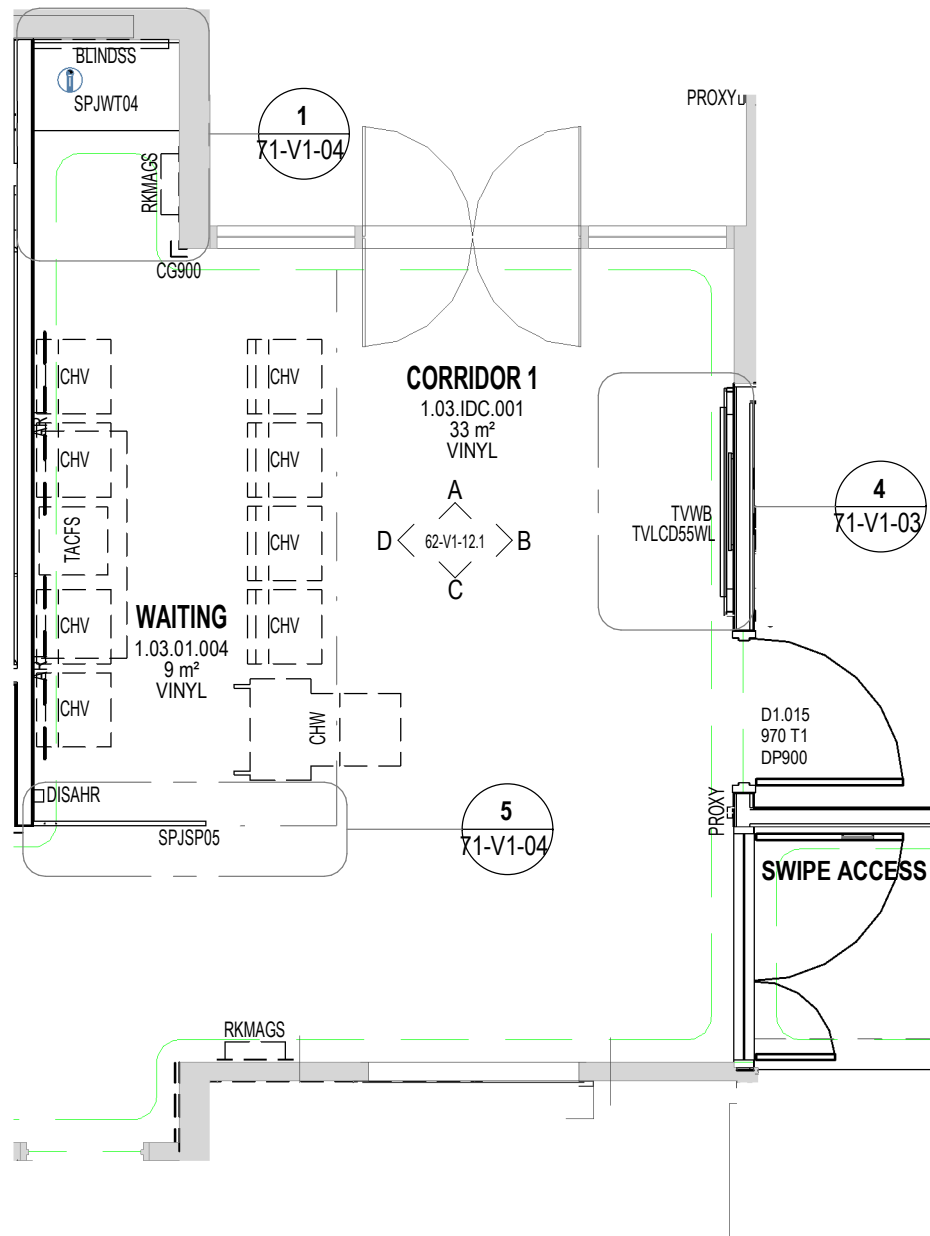
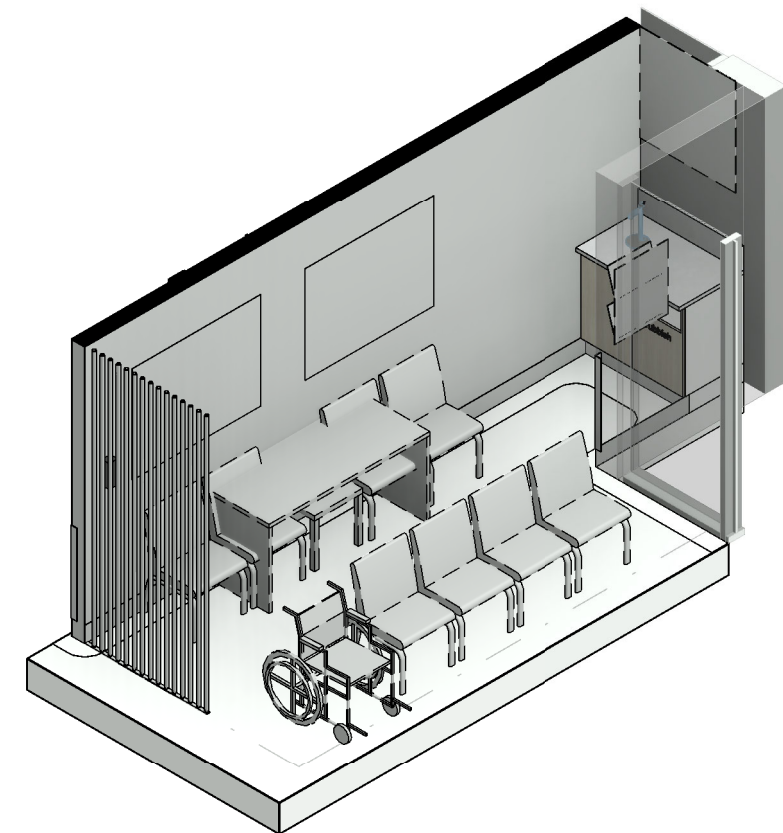
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.

) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.

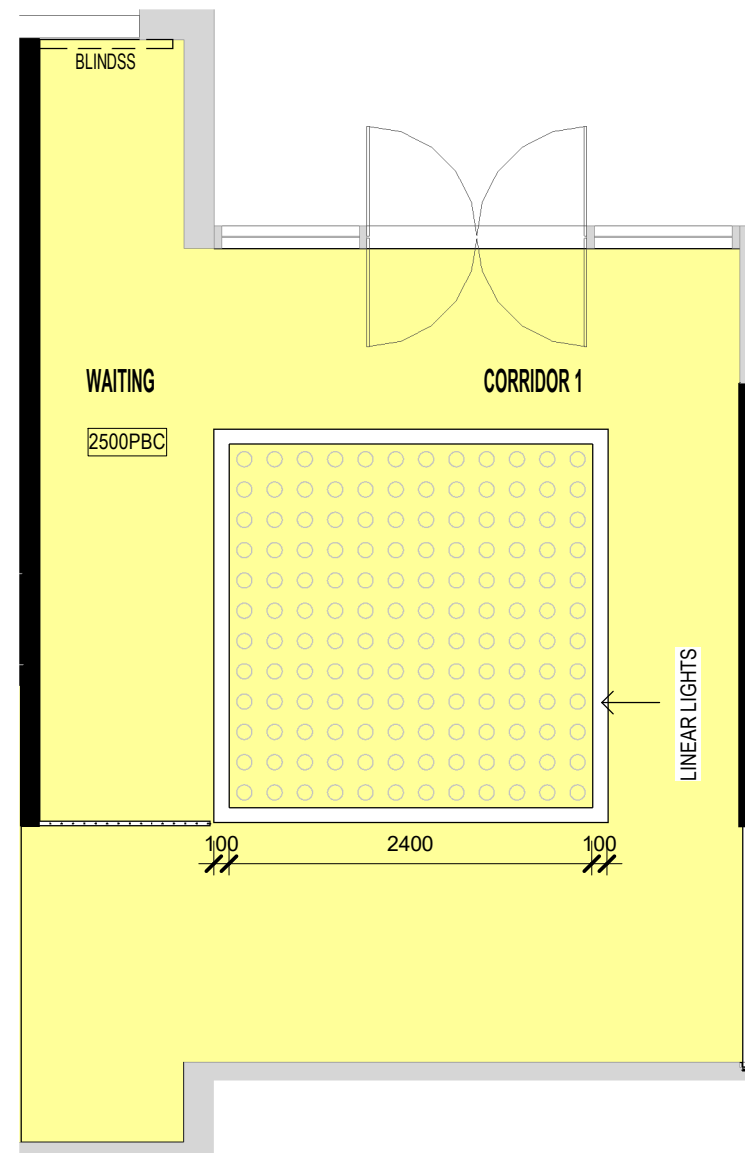
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.

) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



FLOOR PLAN



REFLECTED CEILING PLAN

[illegible]

DIMENSIONS

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY
WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED
AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS
DISCLAIMER AND FF&E SPECIFICATION NOTES

- ARCHITECTS



ABN: 21 134 476 065
 PELACO COMPLEX, BUILDING 3, LEVEL 2
 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
 PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS
HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE
REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

- CLIENT



PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

— DRAWING TITLE

WAITING

— SCALE —
1 : 50@A3

DATE 02/17/22

- DRAWN BY
Author

CHECKED —
Checker

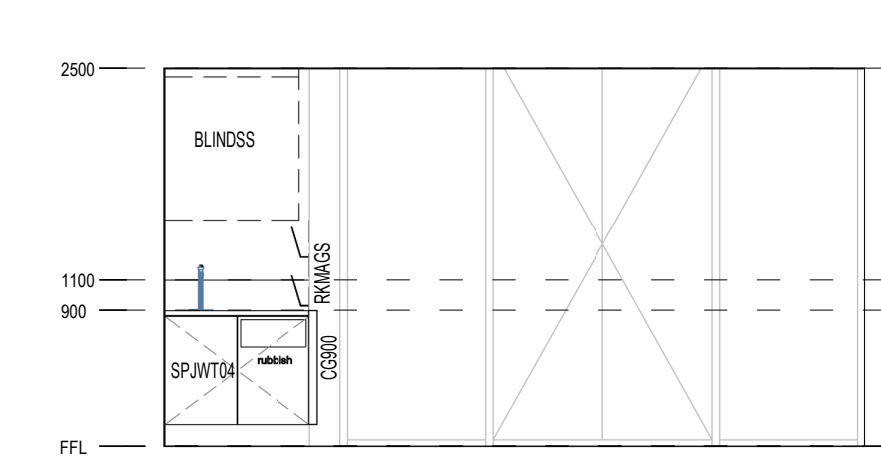
— PROJECT No
10516

— DRAWING No

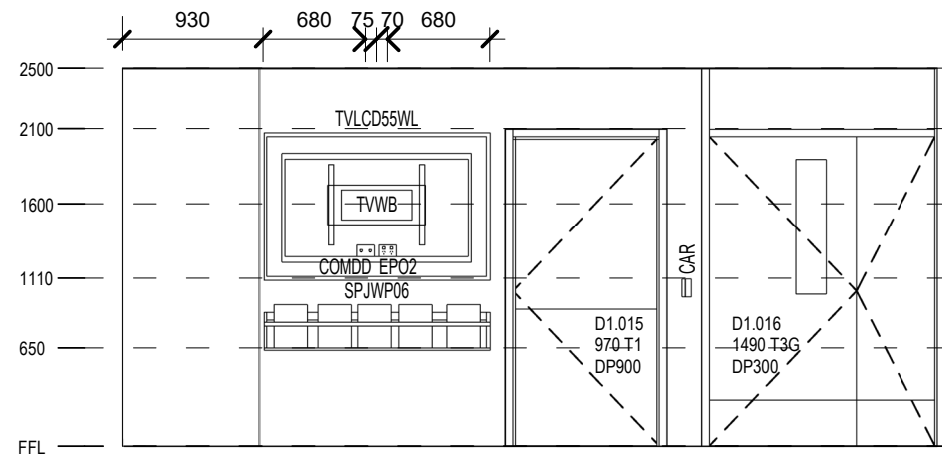
18483-STH-AR-DWG-62-V1-12

REVISION

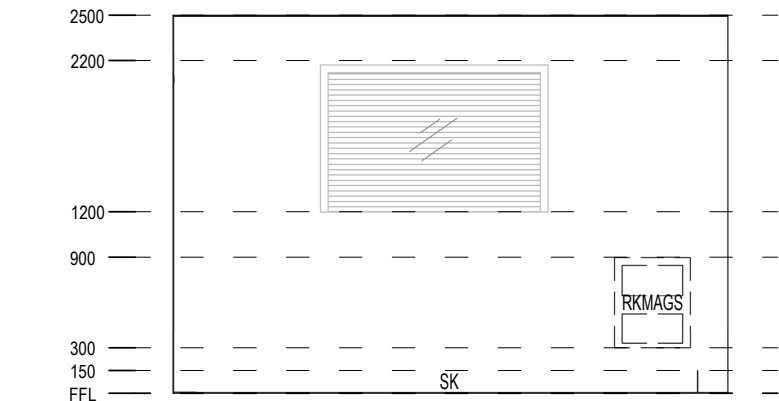
C



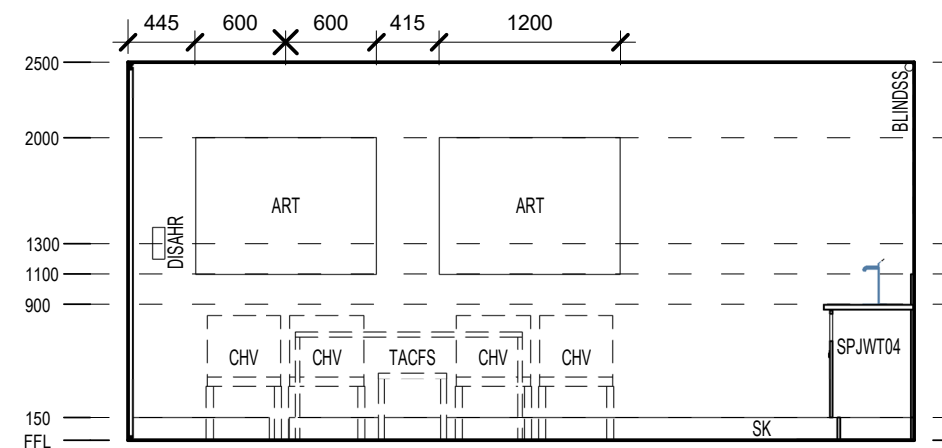
A **61 - WAITING**
61-V1-01






B **61 - WAITING**
61-S1

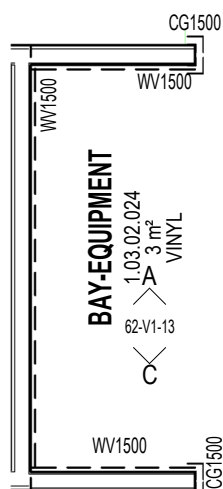


C **61 - WAITING**
61-V1-01

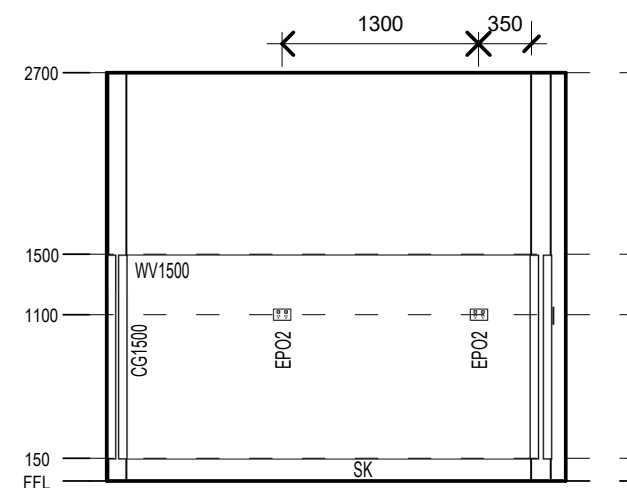
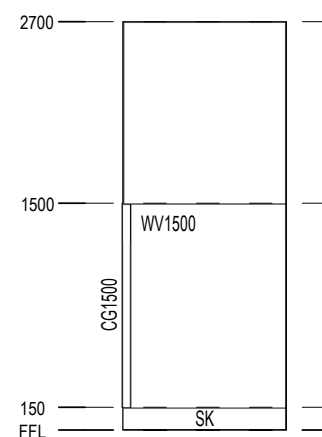
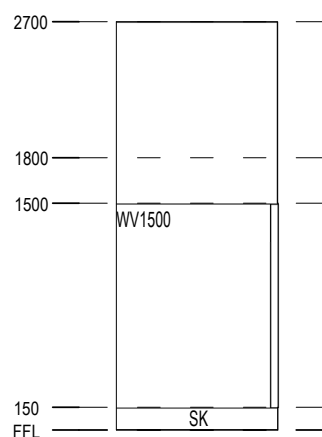


D **61 - WAITING**
61-S1

REV	DESCRIPTION	DRN	DATE	ARCHITECTS		CLIENT	DRAWING TITLE	
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022	USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	<div></div> <div>ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</div> <div>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</div>	<div></div> <div>PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580</div>	WAITING	
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022					
				COPYRIGHT ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.				



FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

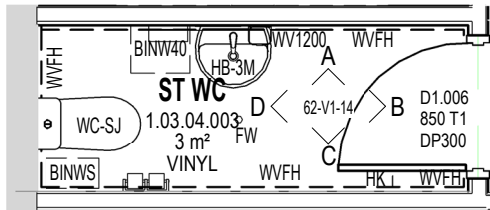


DRAWING TITLE

ROOM LAYOUT SHEET ONCOLOGY BAY-EQUIPMENT

SCALE 1 : 50@A3 DATE 02/17/22 DRAWN BY Author CHECKED Checker

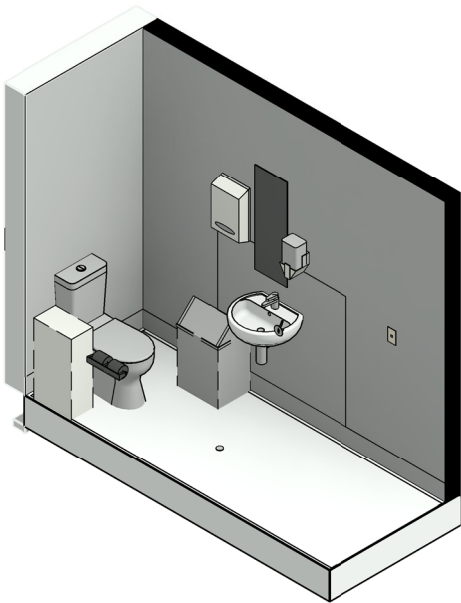
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-13 REVISION C



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

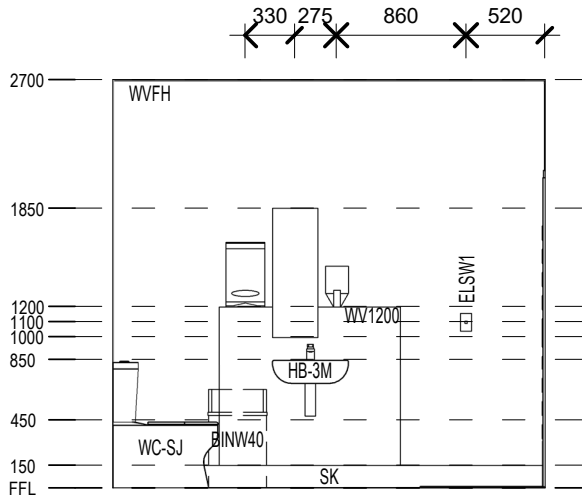
RLS Item List -1.03.04.003 - ST WC			
Item Code	Description	Group	Count
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
FW	FLOOR WASTE	1	1
HB3	Handwash Basin - Medium	1	1
HK	Hook - Hat & Coat - Standard	1	1
M30	MIRROR - 300W X 850H	1	1
PXB	PLUMBING ▯ FLICKMIXER BENCH MOUNTED	1	1
T1	Door - Single Leaf	1	1
WCS	Toilet - Standard	1	1
WV1200	WALL VINYL 1200 HIGH	1	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
DISTPDD	Dispenser - Toilet Paper - Double	2	1
BINW40	Bin - Waste 40 Litre	3	1
BINWS	BIN - SANITARY NAPKIN	3	1

SERVICES LEGEND

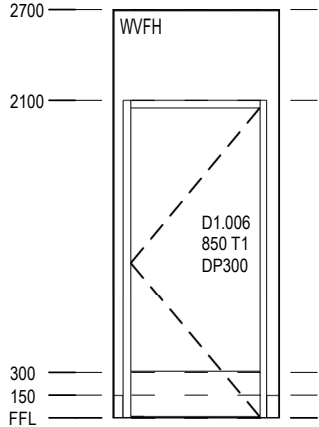
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

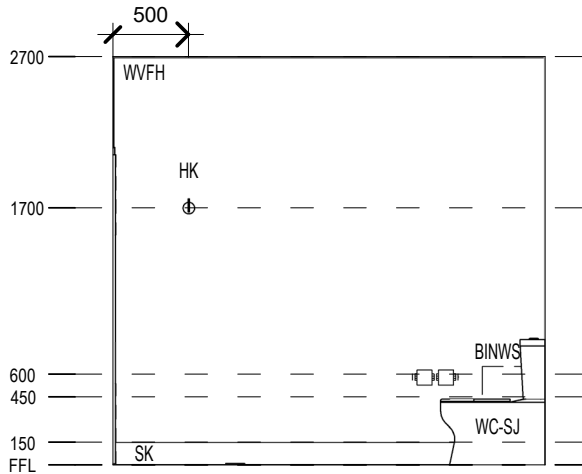
NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



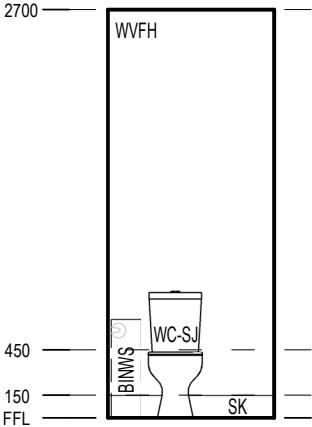
A 13 - ST WC
61-S1



B 13 - ST WC
SCALE: 1 : 50

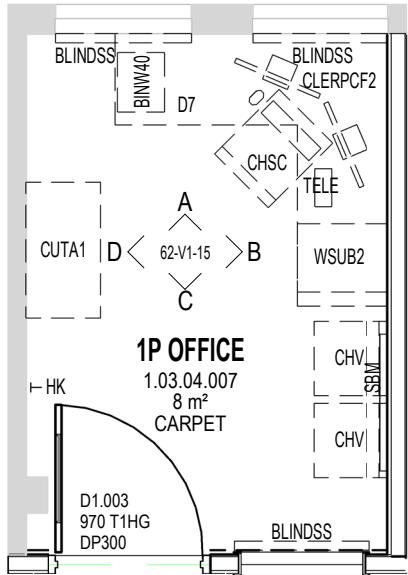


C 13 - ST WC
61-S1

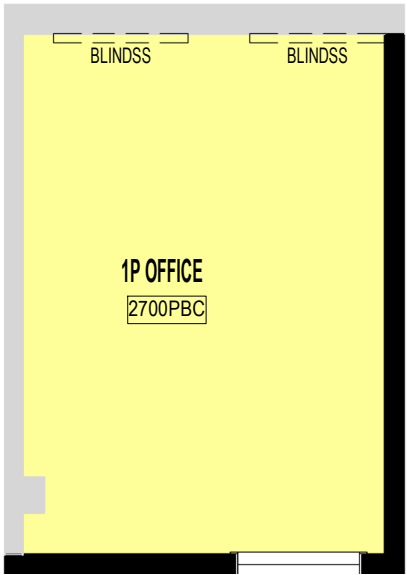


D 13 - ST WC
61-S1

REV	DESCRIPTION	DRN	DATE	DIMENSIONS	ARCHITECTS	CLIENT	DRAWING TITLE
A	ISSUE FOR INFORMATION	DP	23/02/2022	USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	<div><div>STH</div><div>ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</div></div>	<div><div><div>NSW</div><div>GOVERNMENT</div></div><div><div>Health</div><div>Infrastructure</div></div></div> <div>PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580</div>	ROOM LAYOUT SHEET ONCOLOGY STAFF TOILET
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022	COPYRIGHT ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.			
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022	ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	<div><div>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</div></div>	ISSUED FOR INFORMATION	SCALE 1 : 50@A3 DATE 02/21/22 DRAWN BY Author CHECKED Checker
							PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-14 REVISION C



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.03.04.007 - 1P OFFICE			
Item Code	Description	Group	Count
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	3
COMDD	DATA OUTLET DOUBLE	1	2
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
EPO2	DOUBLE POWER OUTLET	1	2
HK	Hook - Hat & Coat - Standard	1	1
IWD	INTERNAL WINDOW TYPE D - SILL AT 900 HEAD AT 2100	1	1
SBM	SPIRIT / WHITE BOARD MAGNETIC	1	1
T1HG	Door - Single Leaf Half Glazed	1	1
BINW40	Bin - Waste 40 Litre	3	1
CHSC	CHAIR - STAFF CLERICAL ERGONOMIC MEDIUM BACK	3	1
CHV	CHAIR - VISITOR	3	2
CLERPCF2	CLERICAL - 2No. FLAT SCREENS AND PC	3	1
CUTA1	TALL CUP'D TAMBOUR UNIT 2080H 900W 500D	3	1
D7	Desk - Corner Workstation Large 1800 x 1800	3	1
TELE	TELEPHONE HANDSET - STANDARD	3	1
WSUB2	WORKSTATION UNDERBENCH 3 DRAWER MOBILE UNIT	3	1

SERVICES LEGEND

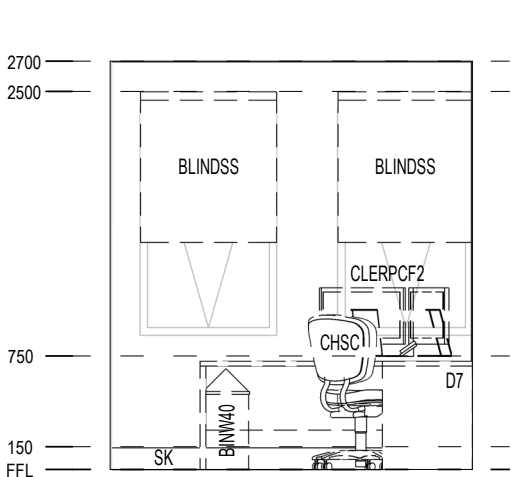
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

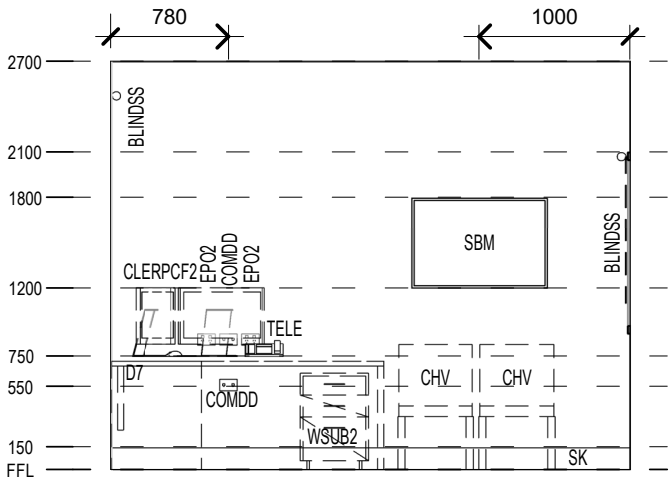
DATA OUTLETS

NOTE:

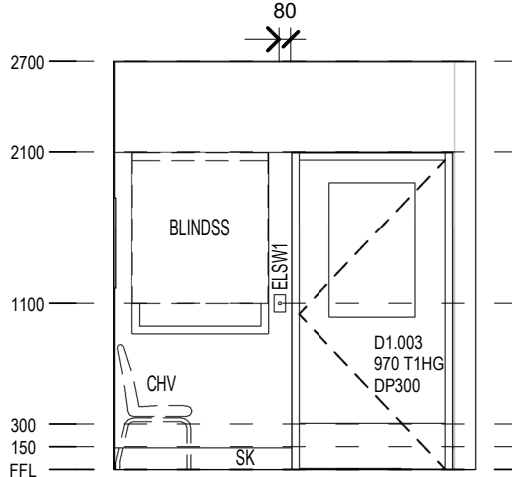
-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



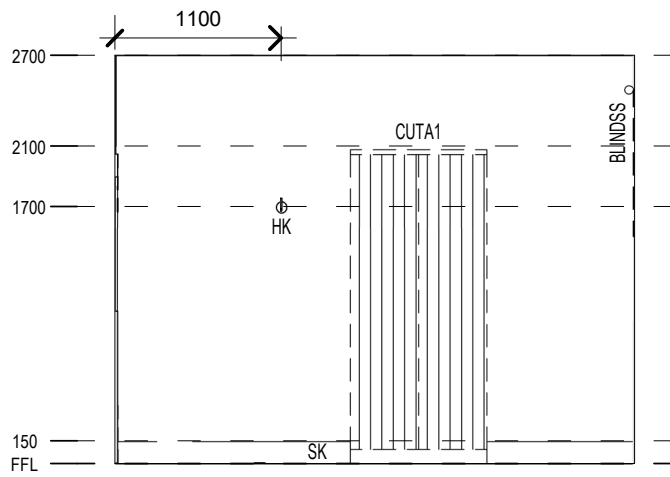
A 30 - 1P OFFICE
61-S1



B 30 - 1P OFFICE
61-S1



C 30 - 1P OFFICE
61-S1



D 30 - 1P OFFICE
61-S1

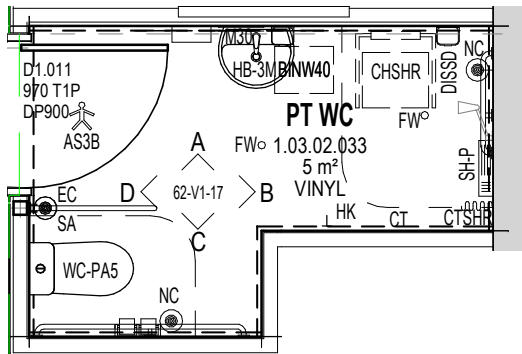
REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

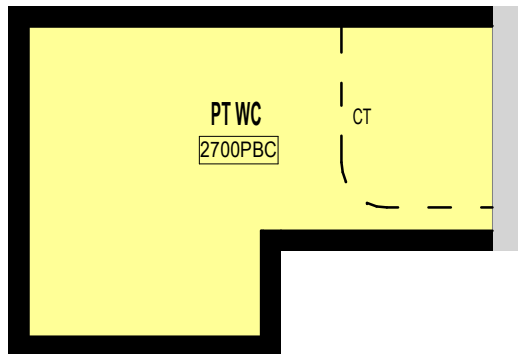
ARCHITECTS	
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	

CLIENT	
PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	
ISSUED FOR INFORMATION	

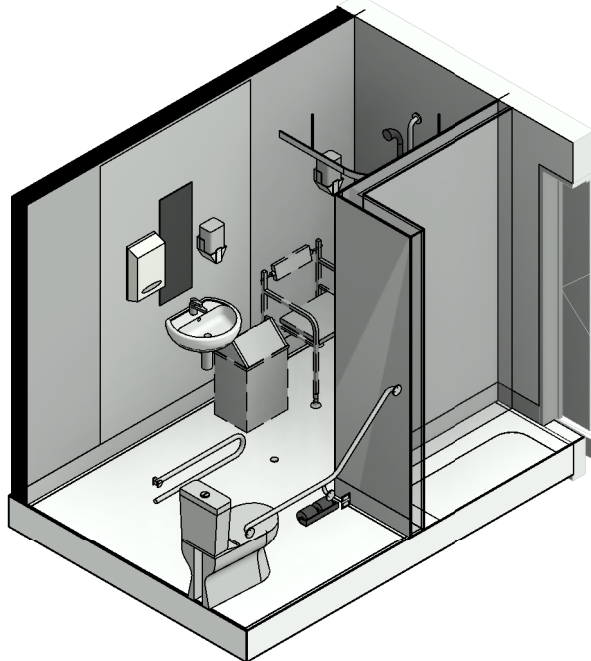
DRAWING TITLE			
ROOM LAYOUT SHEET ONCOLOGY 1P OFFICE			
SCALE 1 : 50@A3	DATE 02/22/22	DRAWN BY Author	CHECKED Checker
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-V1-15	REVISION C	



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

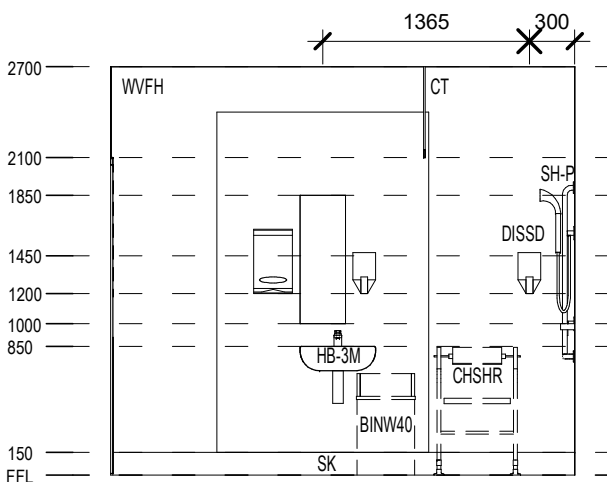
GENERAL POWER OUTLETS

DATA OUTLETS

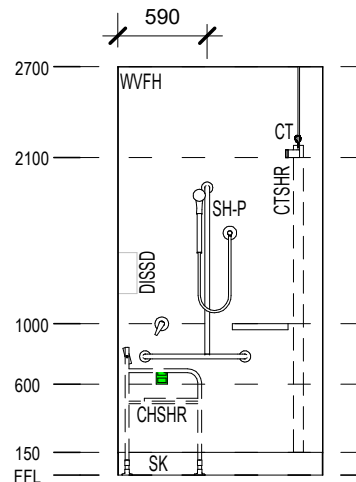
NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

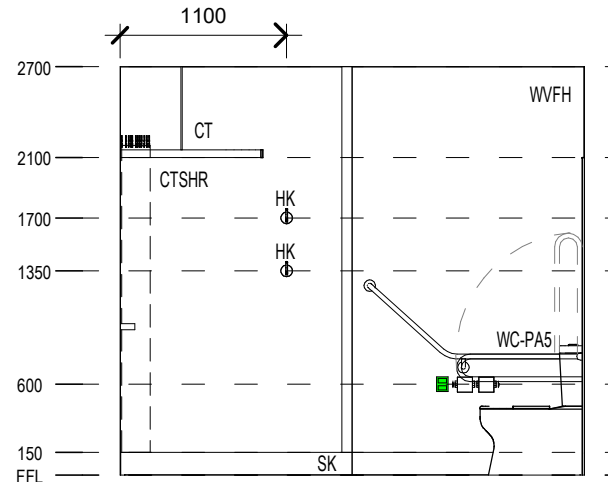
RLS Item List - 1.03.02.033- PT WC + SHOWER			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
CT	Curtain Track - Removable Cassette Type	1	1
EC	EMERGENCY CALL	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
FW	FLOOR WASTE	1	2
GR5	GRABRAIL - PATIENT TOILET - INCLINED	1	1
GR9	GRABRAIL - PATIENT SHOWER GRABRAIL/ACCESSIBLE SHOWER GRABRAIL	1	1
GR11	GRABRAIL ASSISTED WC - HINGED	1	1
HB3	Handwash Basin - Medium	1	1
HK	Hook - Hat & Coat - Standard	1	3
M30	MIRROR - 300W X 850H	1	1
NC	NURSE CALL BUTTON	1	2
PHS	Plumbing - Handheld Shower Rose	1	1
PSH	SHELF : PROPRIETARY SOAP / SHAMPOO SHELF	1	1
PXB	PLUMBING : FLICKMIXER BENCH MOUNTED	1	1
PXW	PLUMBING - FLICKMIXER WALL MOUNTED	1	1
SA	NURSE CALL BUTTON - STAFF ASSIST	1	1
T1P	Door - Single Leaf Pivot	1	1
WCP	Toilet - Patient Toilet	1	1
WV FH	WALL VINYL FULL HEIGHT	1	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	2
DISTPDD	Dispenser - Toilet Paper - Double	2	1
BINW40	Bin - Waste 40 Litre	3	1
CHSHR	CHAIR - SHOWER	3	1
CTSHR	CURTAIN - SHOWER	3	1



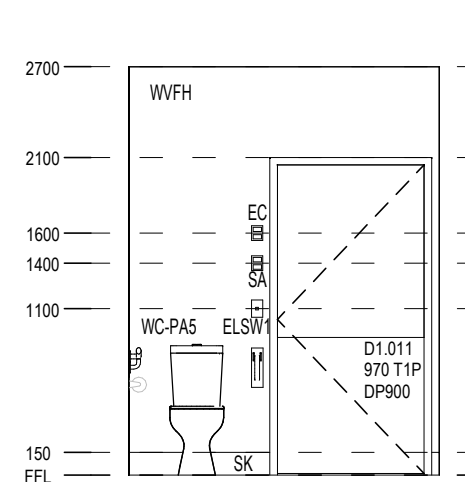
A 29 - PT WC + SHOWER
61-V1-01



B 29 - PT WC + SHOWER
61-V1-01



C 29 - PT WC + SHOWER
61-V1-01



D 29 - PT WC + SHOWER
61-V1-01

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.
COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS
STH
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT
NSW Health Infrastructure
PROJECT
Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580
ISSUED FOR INFORMATION

DRAWING TITLE

PATIENT TOILET

SCALE 1 : 50@A3

DATE 02/22/22

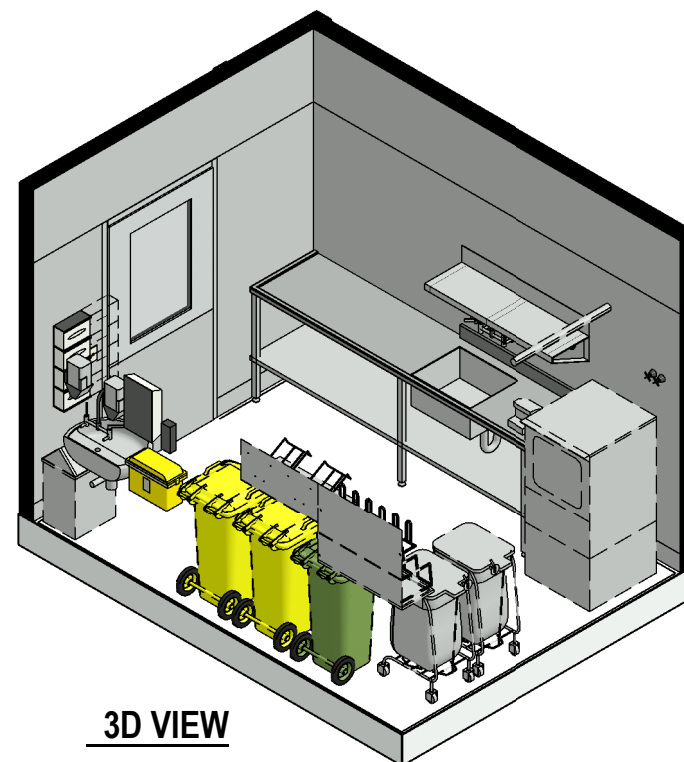
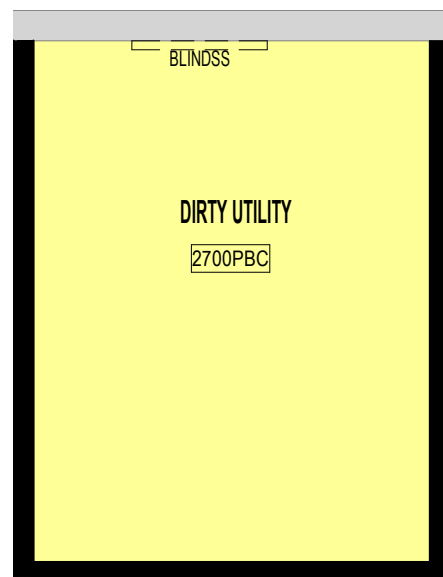
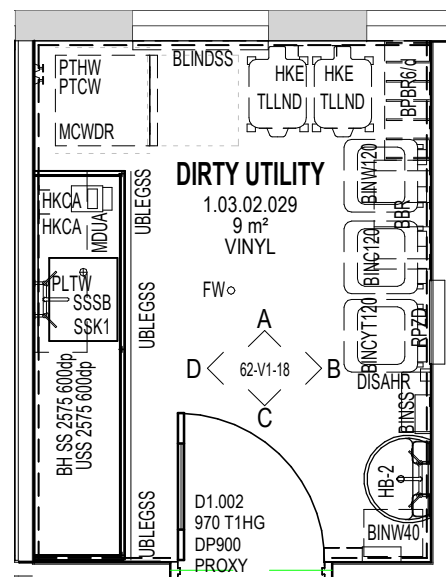
DRAWN BY Author

CHECKED Checker

PROJECT No 10516

DRAWING No 18483-STH-AR-DWG-62-V1-17

REVISION C



3D VIEW

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

 GENERAL POWER OUTLETS

 DATA OUTLETS

NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA. TYP.

) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHEG FOR THE HEIGHT.

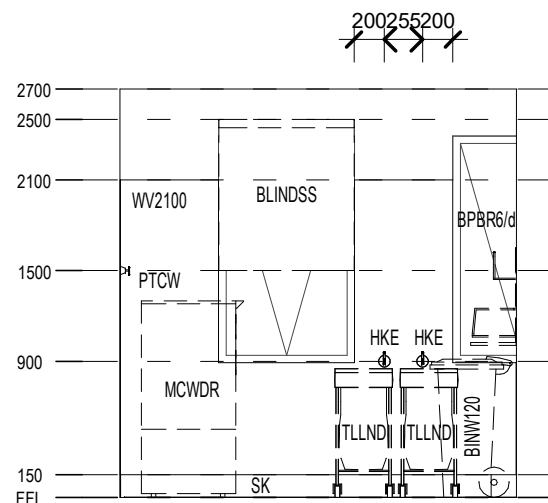
) MINIMUM REQUIREMENTS FROM AUS HEG NEED TO BE ACHIEVED FOR ALL SERVICES

) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

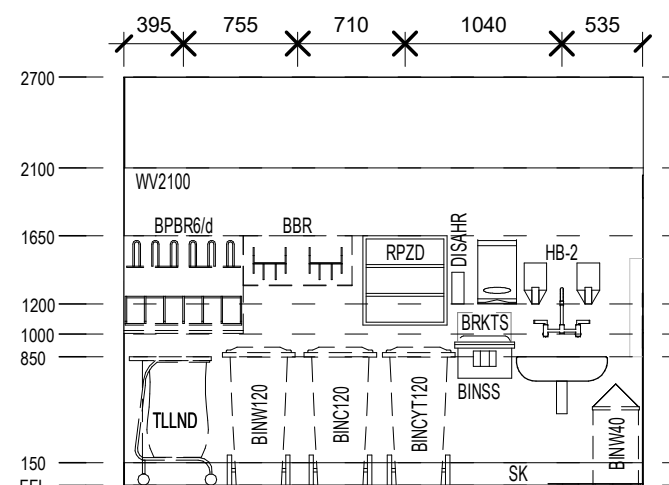
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS

FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE

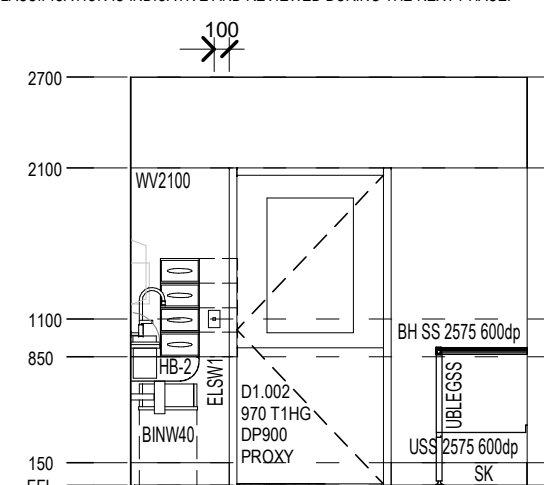
RLS Item List -1.03.02.029 - DIRTY UTILITY			
Item Code	Description	Group	Count
BH SS	BENCH HIGH - STAINLESS STEEL	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
COMD	ELECTRICAL FIXTURES : DATA OUTLET - SINGLE	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
FW	FLOOR WASTE	1	1
HB2	Handwash Basin - Patient & Staff	1	1
HKCA	Hook - Catheter	1	2
HKE	Hook - Equipment	1	2
PLTW	PLUMBING - LEVER TAPS WALL MOUNTED	1	2
PTCW	PILUMING - TAP WALL MOUNTED COLD	1	1
PTHW	PLUMBING - TAP WALL MOUNTED HOT	1	1
RPZD	REDUCED PRESSURE ZONE DEVICE WITH TUNDISH	1	1
S SS	SHELF STAINLESS STEEL	1	1
SSK1	Sink - Integral Stainless Steel Single Bowl 250 Deep	1	1
SSSB	SPLASHBACK ▯ STAINLESS STEEL	1	1
T1HG	Door - Single Leaf Half Glazed	1	1
UBLEGSS	UNDERBENCH LEG ▯ STAINLESS STEEL	1	3
USS	UNDERBENCH STAINLESS STEEL SHELF	1	1
BBR	RACK - BOWL	2	1
BPBR6/d	RACK - BED PAN AND BOTTLE RACK WITH DRIP TRAY (6 PANS / BOTTLES)	2	1
BRKTS	BRACKET - SHARPS DISPOSAL, WALL MOUNTED	2	1
DISAD	Dispenser - Antiseptic	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
DISGD	DISPENSER - GLOVE - 4 SIZES	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
MCWDR	Medical Cleaning Equipment - Washer Disinfector Combined Unit	2	1
MDUA	MEDICAL DIAGNOSTIC EQUIPMENT - URINE ANALYSER	2	1
BINC120	BIN - CLINICAL WASTE 120 LITRE	3	1
BINCYT120	BIN - CYTOTOXIC 120 LITRE	3	1
BINSS	BIN - SHARPS DISPOSAL SMALL, WALL MOUNTED	3	1
BINW40	Bin - Waste 40 Litre	3	1
BINW120	BIN - WASTE 120 LITRE	3	1
TLLND	Trolley - Linen Dirty	3	2



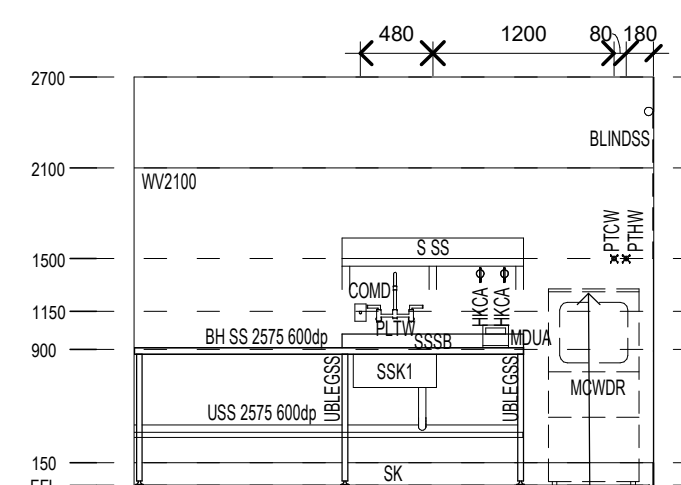
A **66 - DIRTY UTILITY**
61-S1



B **66 - DIRTY UTILITY**
61-S1



C 66 - DIRTY UTILITY
61-S1



D 66 - DIRTY UTILITY

— POWER REQUIREMENTS
FOR COMBI WASHER/
DISINFECTOR T.B.C.

[illegible]

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY
WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED
AND REVIEWED BEFORE MANUFACTURE

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE
REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS
(GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING
PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE
PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE,
EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE
WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT
OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS
OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS
DISCLAIMER AND FE&E SPECIFICATION NOTES

- ARCHITECTS



ABN: 21 134 476 065
 PELACO COMPLEX, BUILDING 3, LEVEL 2
 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
 PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS
HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE
REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

- CLIENT



PROJECT

Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

— DRAWING TITLE

ROOM LAYOUT SHEET

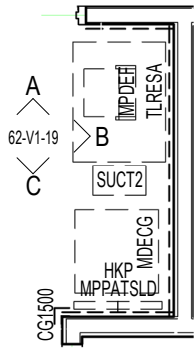
ONCOLOGY

DIRTY UTILITY

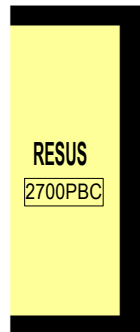
SCALE _____ DATE _____ DRAWN BY _____ CHECKED _____
1 : 50@A3 02/22/22 Author Checker

PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-18 REVISION 0

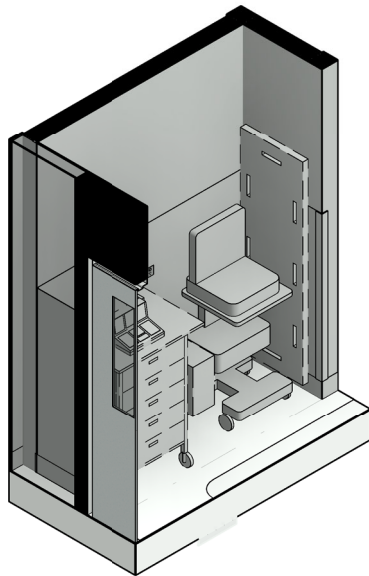
C



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.03.02.032 - RESUS			
Item Code	Description	Group	Count
EPO2	DOUBLE POWER OUTLET	1	2
HKP	Hook - Patient Slide	1	1
WV1500	WALL VINYL 1500 HIGH	1	3
MDECG	Medical Diagnostic Equipment Electrocardiogram (ECG) Machine	3	1
MPDEF	Medical Patient Support Equipment Defibrillator	3	1
MPPATSLD	Medical Patient Support Equipment - Patient Slide	3	1
SUCT2	Suction Twin o Vac	3	1
TLRESA	Trolley - Resus, adult	3	1

SERVICES LEGEND

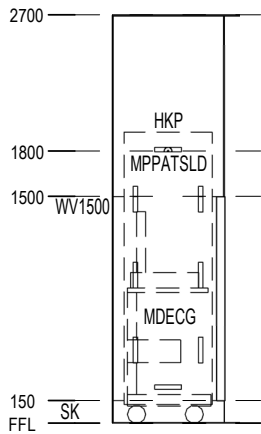
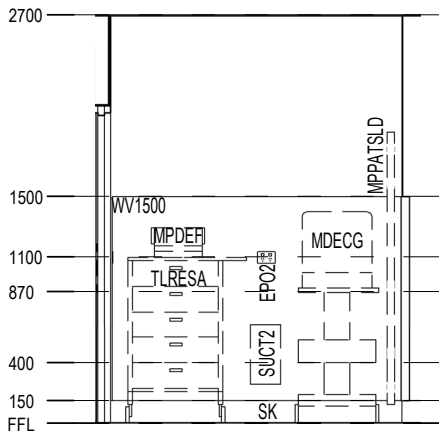
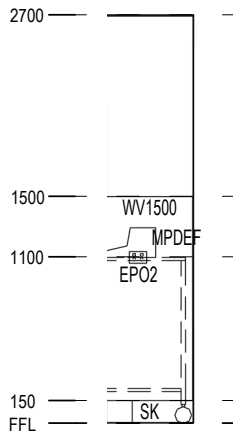
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

DATA OUTLETS

NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



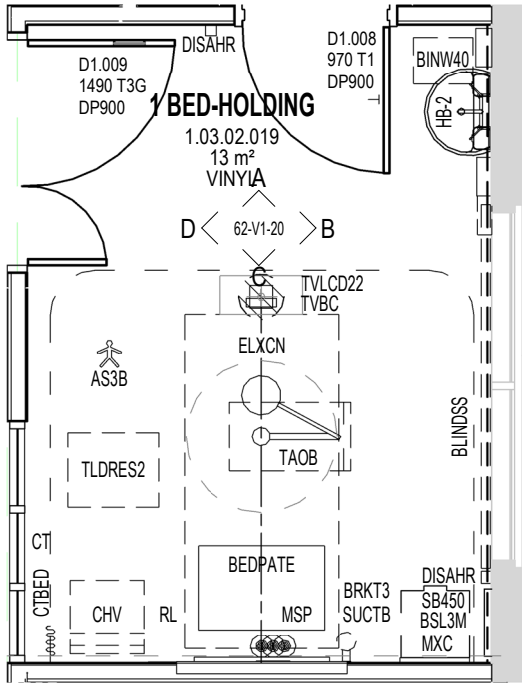
REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION		23/02/2022
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

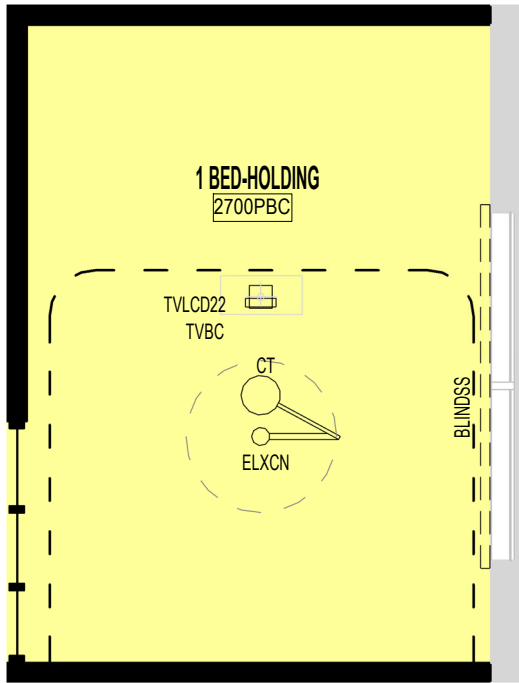
ARCHITECTS	
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	

CLIENT	
PROJECT	
Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	
ISSUED FOR INFORMATION	

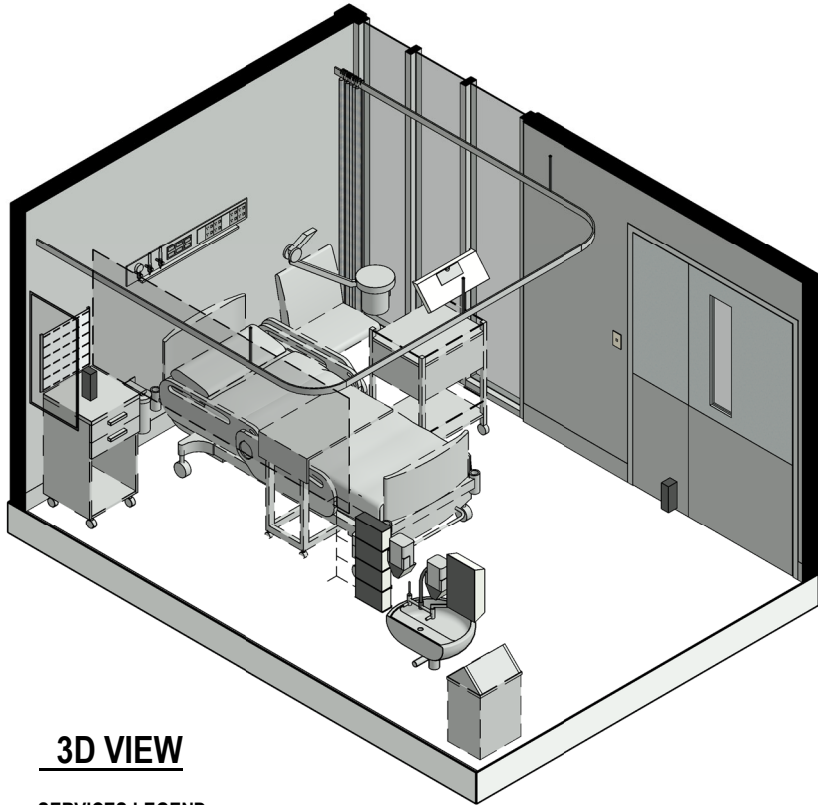
DRAWING TITLE			
ROOM LAYOUT SHEET ONGOLOGY RESUSCITATION TROLLEY			
SCALE 1 : 50@A3	DATE 02/22/22	DRAWN BY Author	CHECKED Checker
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-V1-19	REVISION C	



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

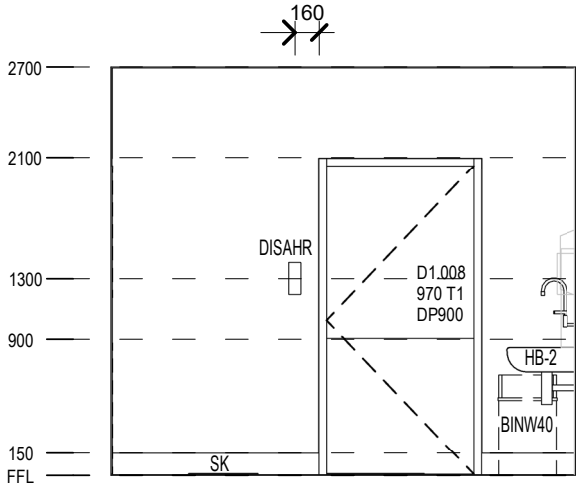
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

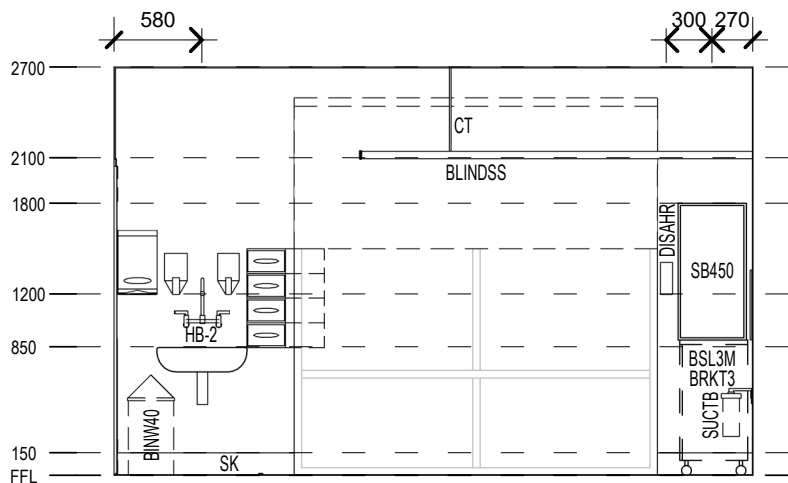
- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

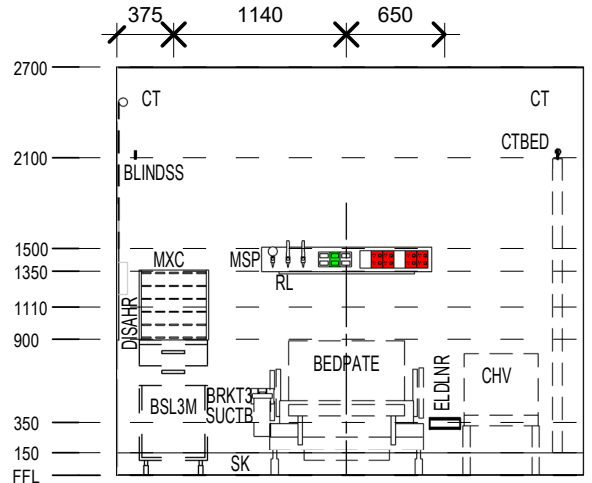
RLS Item List - 1.03.02.019 - 1 BED HOLDING			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
CT	Curtain Track - Removable Cassette Type	1	2
EC	EMERGENCY CALL	1	1
ELDLNR	Lighting - Night Light Recessed	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
ELXCN	LIGHTING : CEILING MOUNTED EXAMINATION LIGHT	1	1
EPOE2	ELECTRICAL FIXTURES: DOUBLE ESSENTIAL POWER OUTLET	1	4
EPRCD	ELECTRICAL FIXTURES - RESIDUAL CURRENT DEVICE	1	2
HB2	Handwash Basin - Patient & Staff	1	1
MSP	MEDICAL SERVICES PANEL	1	1
MXC	Maxi-Bin Storage Bin Panel 457w x 457h	1	1
NC	NURSE CALL BUTTON	1	1
PLTW	PLUMBING - LEVER TAPS WALL MOUNTED	1	1
RL	LIGHT: reading light	1	1
SA	NURSE CALL BUTTON - STAFF ASSIST	1	1
SB450	SPIRIT / WHITE BOARD - 450 LONG	1	1
T1	Door - Single Leaf	1	1
T3G	Door - Cat and Kitten Glazed Panel	1	1
TVBC	TV Ceiling Bracket	1	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAD	Dispenser - Antiseptic	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	2
DISGD	DISPENSER - GLOVE - 4 SIZES	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
TVLCD22	TELEVISION - LCD FULL HD TV 22" 2MP	2	1
AFLOW	AIR FLOWMETER	3	1
BEDPATE	BED : PATIENT SINGLE ELECTRIC	3	1
BINW40	Bin - Waste 40 Litre	3	1
CHV	CHAIR - VISITOR	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TAOB	TABLE - PATIENT - OVERBED	3	1
BSL3M	BEDSIDE LOCKER WITH DRAWERS AND OPEN UNDER, MOBILE	3T	1
TLDRES2	TROLLEY - DRESSING DOUBLE DRAWER	3T	1



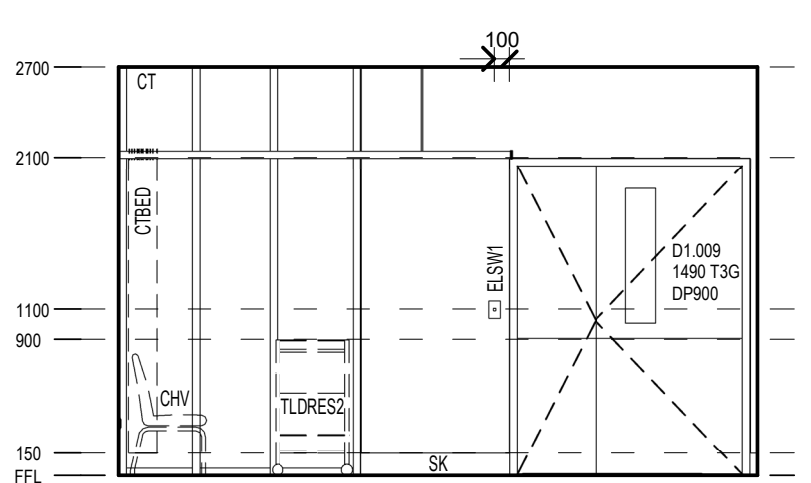
A 28 - 1 BED-HOLDING
61-S1



B 28 - 1 BED-HOLDING
61-S1



C 28 - 1 BED-HOLDING
61-V1-01



D 28 - 1 BED-HOLDING
61-S1

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

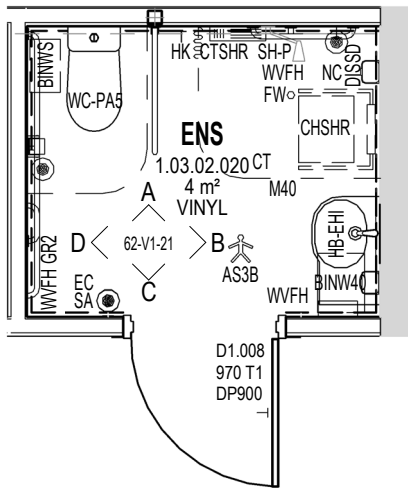
DRAWING TITLE

**ROOM LAYOUT SHEET
ONCOLOGY
1 BED HOLDING**

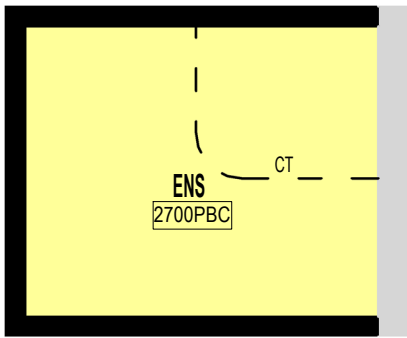
SCALE 1 : 50@A3 DATE 02/22/22 DRAWN BY Author CHECKED Checker

PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-20 REVISION

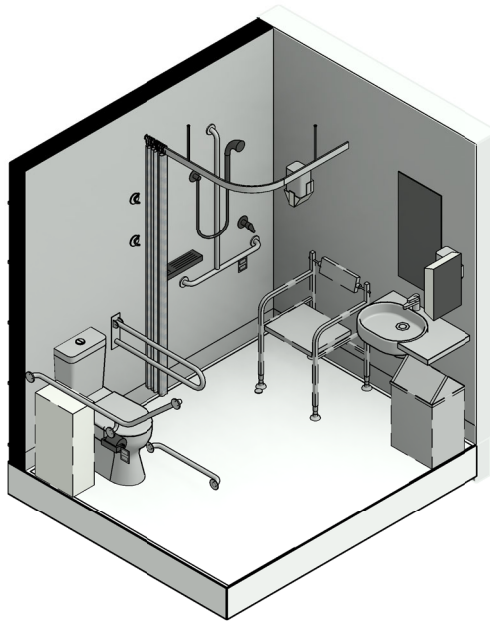
C



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

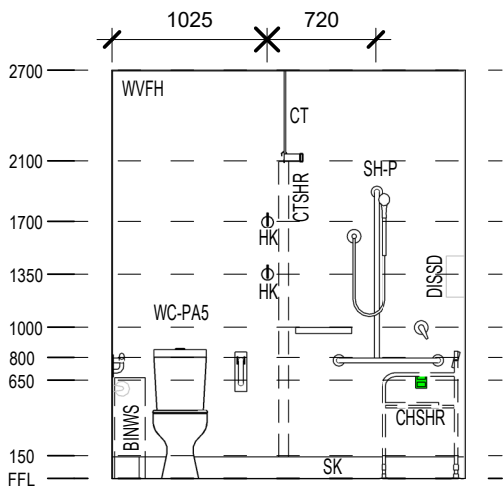
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

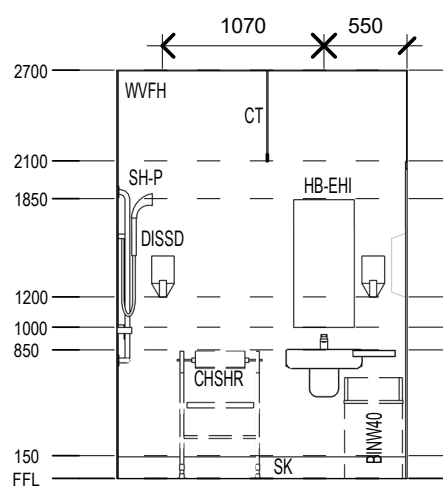
- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

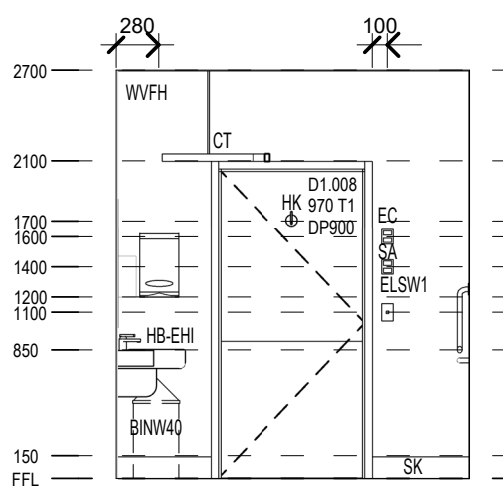
RLS Item List -1.03.02.020 - ENS			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
EC	EMERGENCY CALL	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
FW	FLOOR WASTE	1	1
GR2	GRABRAIL - 600 LONG	1	1
GR5	GRABRAIL - PATIENT TOILET - INCLINED	1	1
GR9	GRABRAIL - PATIENT SHOWER GRABRAIL/ACCESSIBLE SHOWER GRABRAIL	1	1
GR11	GRABRAIL ASSISTED WC - HINGED	1	1
HBEHI	HANDWASH BASIN - ENSUITE BASIN HANDED	1	1
HK	Hook - Hat & Coat - Standard	1	4
M40	MIRROR - 400W X 850H	1	1
NC	NURSE CALL BUTTON	1	2
PHS	Plumbing - Handheld Shower Rose	1	1
PSH	SHELF PROPRIETARY SOAP / SHAMPOO SHELF	1	1
PXB	PLUMBING FLICKMIXER BENCH MOUNTED	1	1
PXW	PLUMBING - FLICKMIXER WALL MOUNTED	1	1
SA	NURSE CALL BUTTON - STAFF ASSIST	1	1
WCP	Toilet - Patient Toilet	1	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	2
DISTPD	DISPENSER - TOILET PAPER	2	1
BINW40	Bin - Waste 40 Litre	3	1
BINWS	BIN - SANITARY NAPKIN	3	1
CHSHR	CHAIR - SHOWER	3	1
CTSHR	CURTAIN - SHOWER	3	1



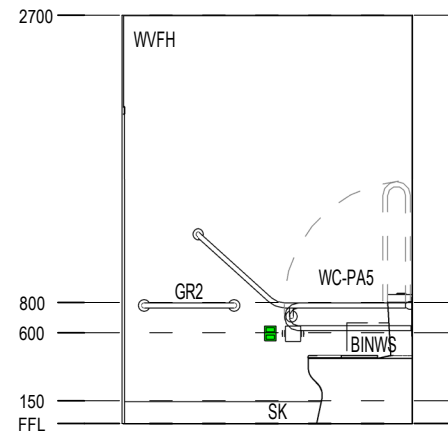
A 26 - ENS
61-S1



B 26 - ENS
61-S1



C 26 - ENS
61-S1



D 26 - ENS
61-S1

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.
COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS
STH
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT
NSW Health Infrastructure
PROJECT
Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580
ISSUED FOR INFORMATION

DRAWING TITLE

ROOM LAYOUT SHEET
ONCOLOGY
ENSUITE

SCALE

1 : 50@A3

DATE

02/22/22

DRAWN BY

Author

CHECKED

Checker

PROJECT No

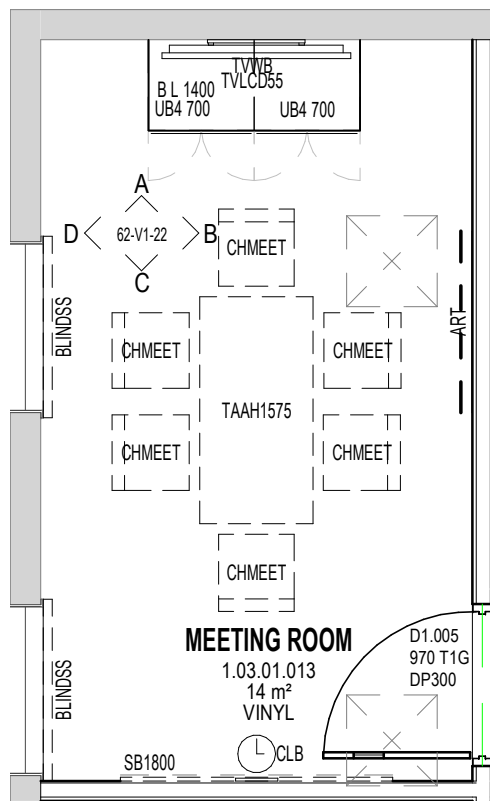
10516

DRAWING No

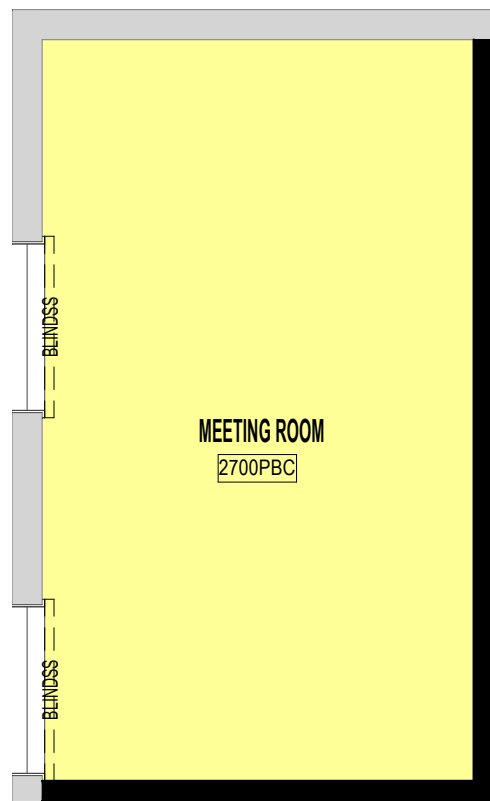
18483-STH-AR-DWG-62-V1-21

REVISION

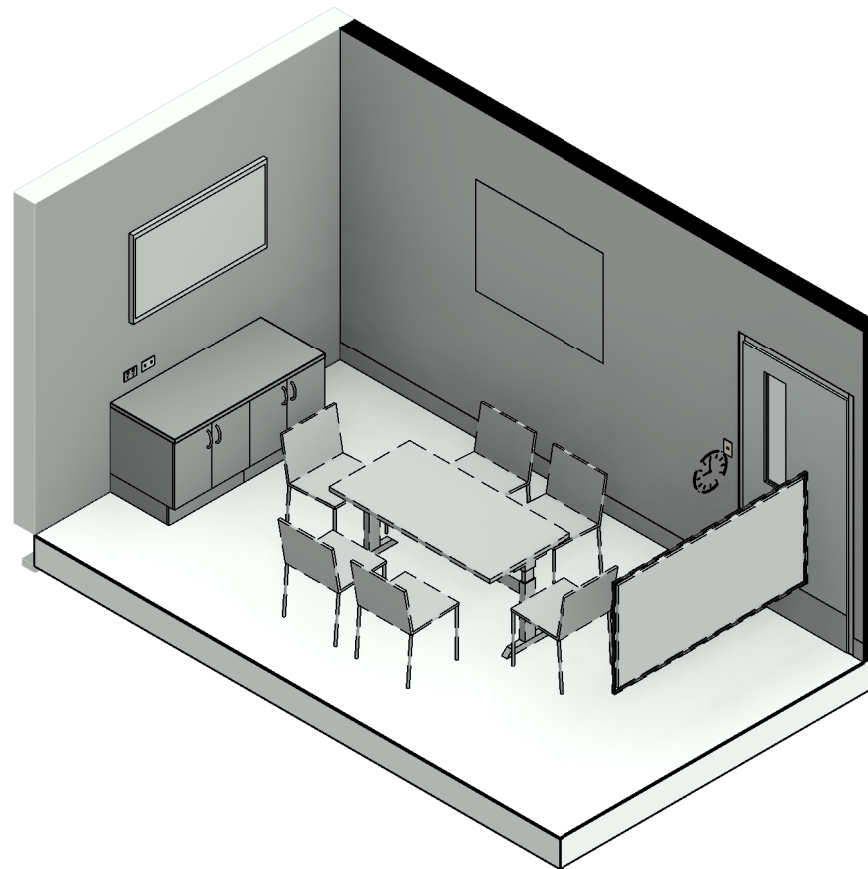
C



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List - 1.03.01.013 - MEETING ROOM			
Item Code	Description	Group	Count
B L	BENCH - LAMINATE FINISH	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	2
CLB	CLOCK - BATTERY, WALL MOUNTED	1	1
COMDD	DATA OUTLET □ DOUBLE	1	3
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
EPO2	DOUBLE POWER OUTLET	1	3
SB1800	SPIRIT / WHITE BOARD - 900 HIGH 1800 LONG	1	1
T1G	Door - Single Leaf Glazed Panel	1	1
TVWB	BRACKET - TELEVISION WALL MOUNTED	1	1
UB4 700	UB CUPBOARD WITH DOORS 700W	1	2
ART	ARTWORK PANEL	3	1
CHMEET	CHAIR □ MEETING	3	6
TAAH1575	TABLE - ADJUSTABLE HEIGHT - 1500 X 750DP	3	1
TVLCD55	TELEVISION - LCD FULL HD TV 55" 2MP	3	1

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

DATA OUTLETS

NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.

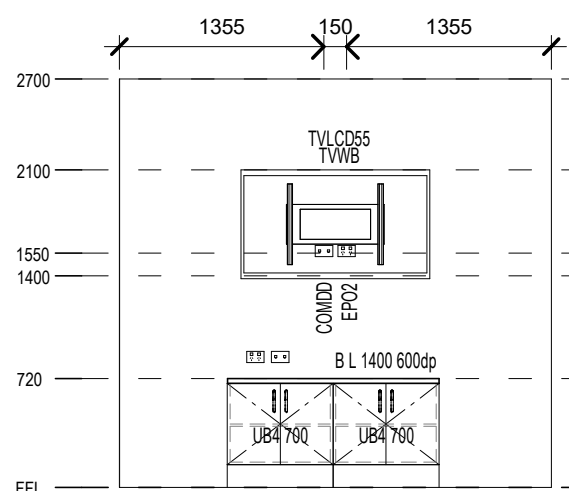
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.

) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.

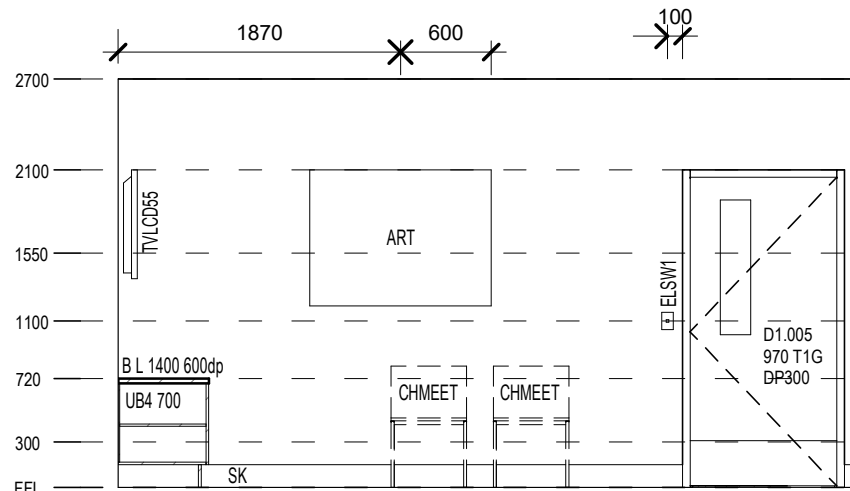
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.

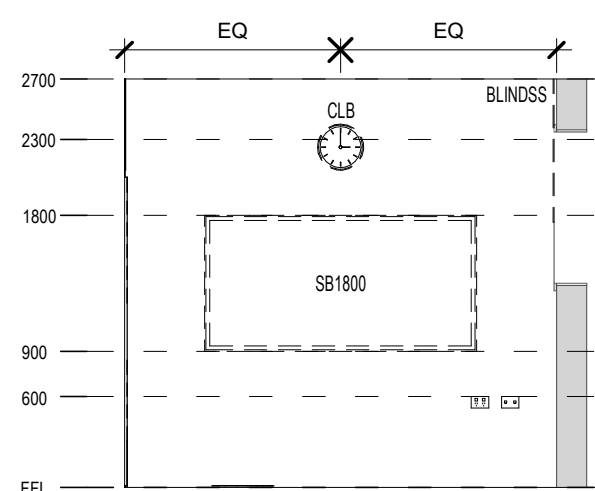
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



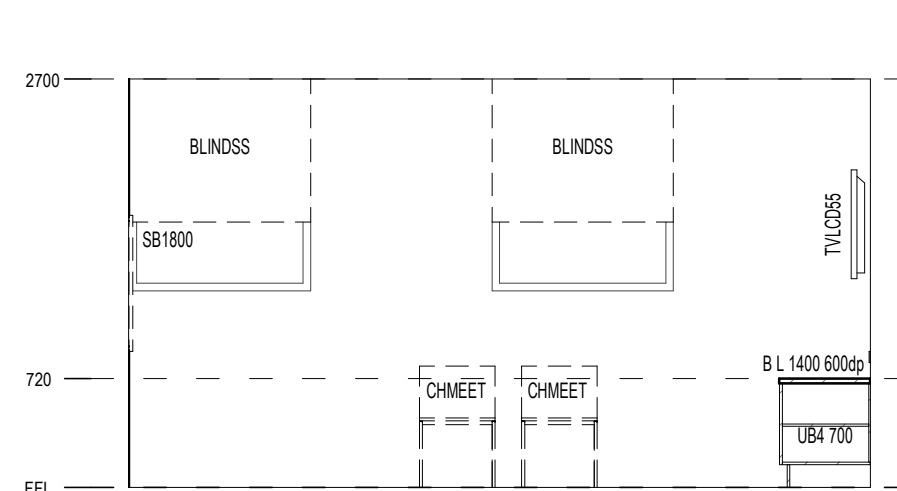
A 12 - MEETING ROOM
61-S1



B 12 - MEETING ROOM
61-S1



C 12 - MEETING ROOM
61-S1



D 12 - MEETING ROOM
61-S1

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION		23/02/2022
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

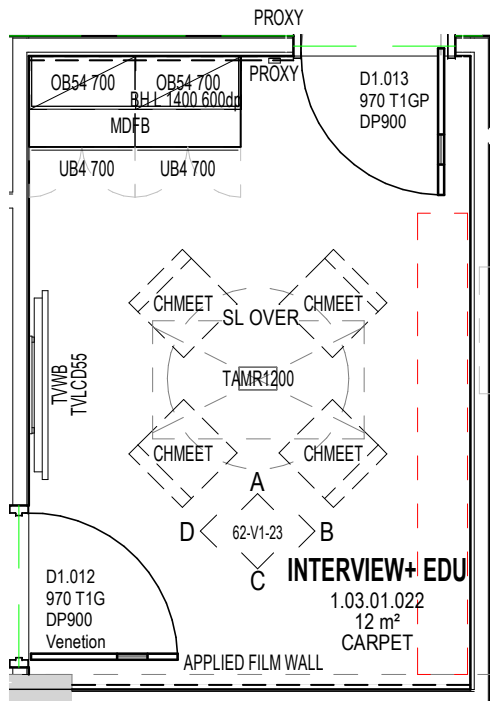
PROJECT
Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

ISSUED FOR INFORMATION

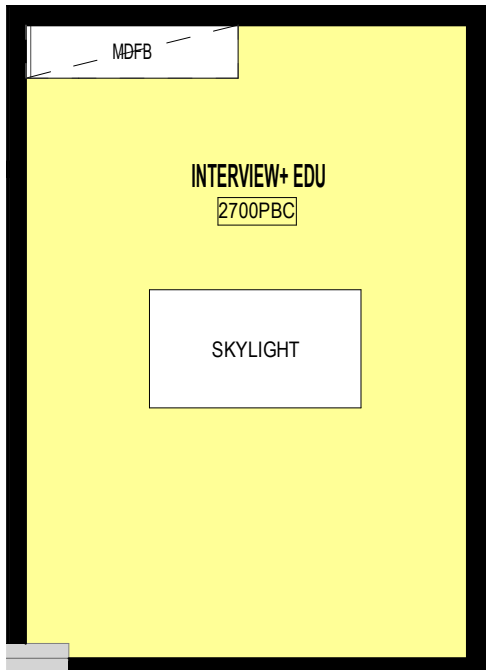
DRAWING TITLE
**ROOM LAYOUT SHEET
ONCOLOGY
MEETING ROOM**

SCALE 1 : 50@A3 DATE 02/22/22 DRAWN BY Author CHECKED Checker

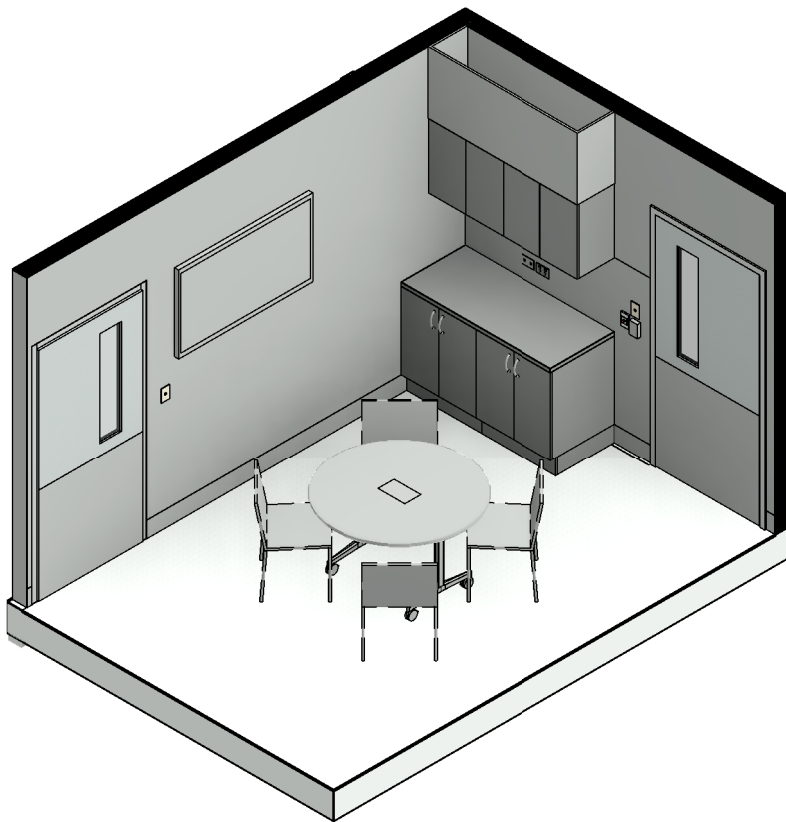
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-22 REVISION **C**



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.03.01.022 - INTERVIEW + EDU			
Item Code	Description	Group	Count
BH L	BENCH HIGH LAMINATE FINISH	1	1
COMD3	ELECTRICAL FIXTURE : DATA OUTLET ▯ TRIPLE	1	1
COMDD	DATA OUTLET ▯ DOUBLE	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	2
EPO2	DOUBLE POWER OUTLET	1	2
MDFB	BULKHEAD - MDF	1	1
OB54 700	OB CUPBOARD - WITH DOORS 600H 700W 350D LOCKABLE	1	2
PROXY	PROXIMITY CARD ENTRY	1	1
TVWB	BRACKET - TELEVISION WALL MOUNTED	1	1
UB4 700	UB CUPBOARD WITH DOORS 700W	1	2
CHMEET	CHAIR ▯ MEETING	3	4
DRS	DURESS ALARM	3	1
TAMR1200	TABLE ▯ MEETING ROUND - 1000 DIA	3	1
TVLCD55	TELEVISION - LCD FULL HD TV 55" 2MP	3	1

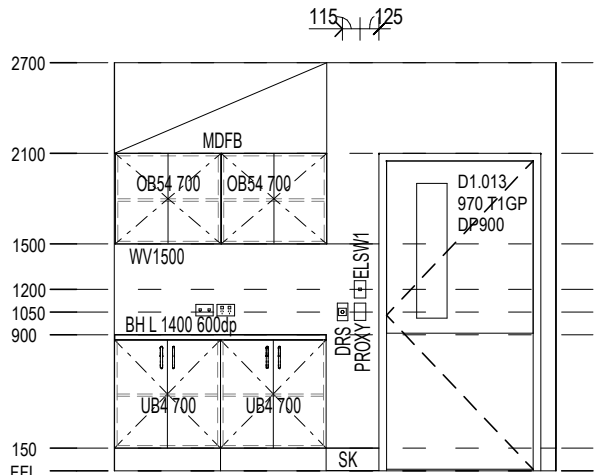
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

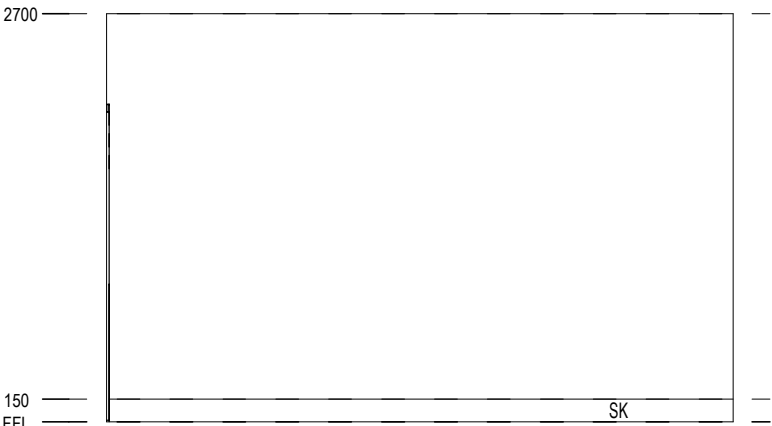
- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:

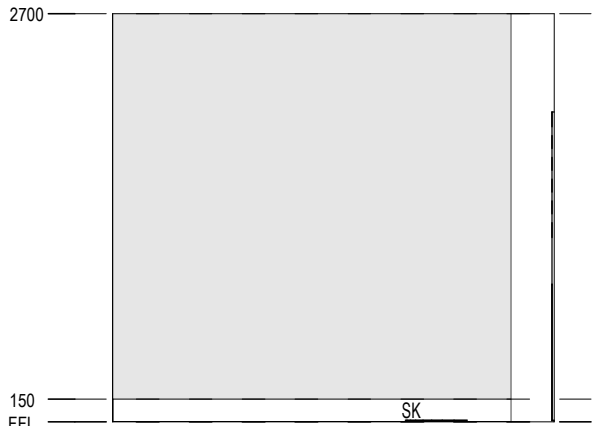
-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



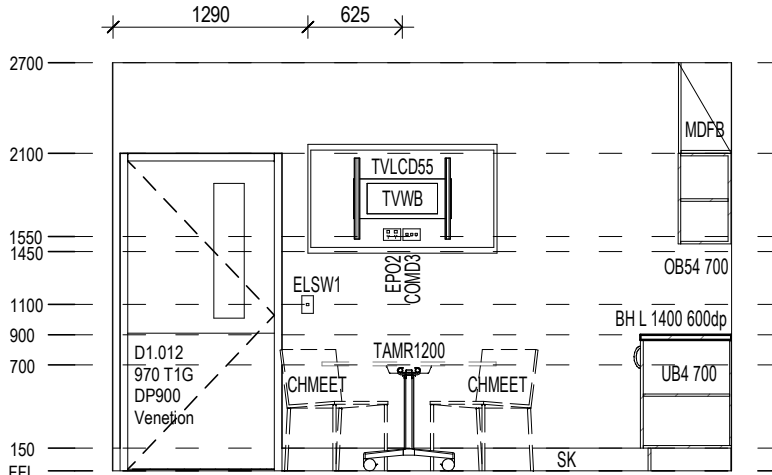
A 47 - INTERVIEW+ EDU
61-S1



B 47 - INTERVIEW+ EDU
61-S1



C 47 - INTERVIEW+ EDU
61-V1-01



D 47 - INTERVIEW+ EDU
61-S1

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

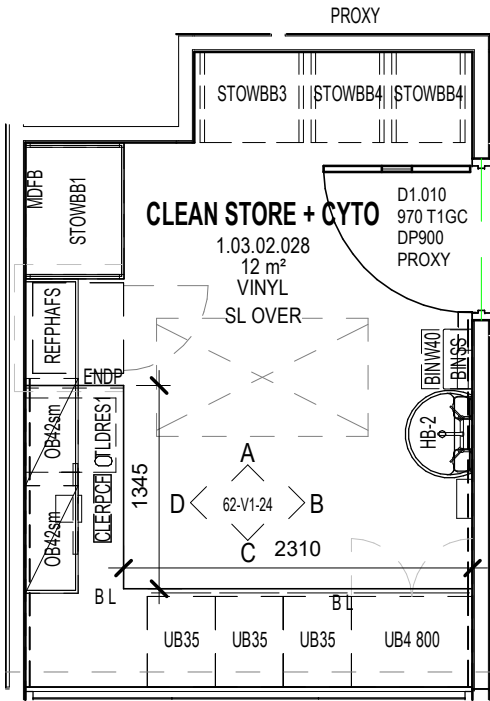
ISSUED FOR INFORMATION

DRAWING TITLE

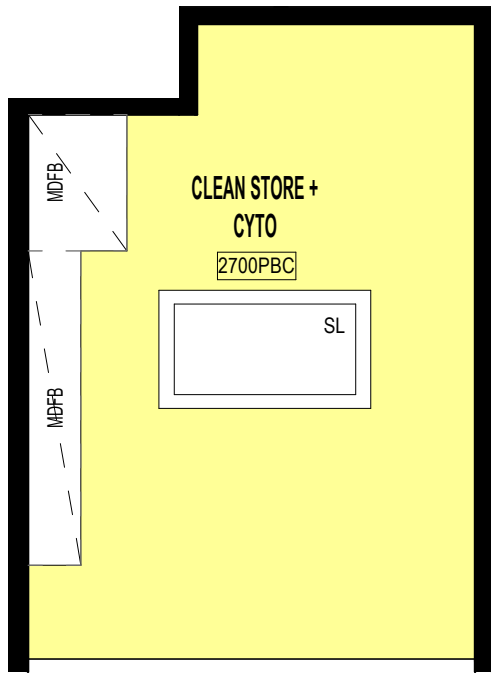
**ROOM LAYOUT SHEET
ONCOLOGY
INTERVIEW+ EDU**

SCALE 1 : 50@A3 DATE 02/22/22 DRAWN BY Author CHECKED Checker

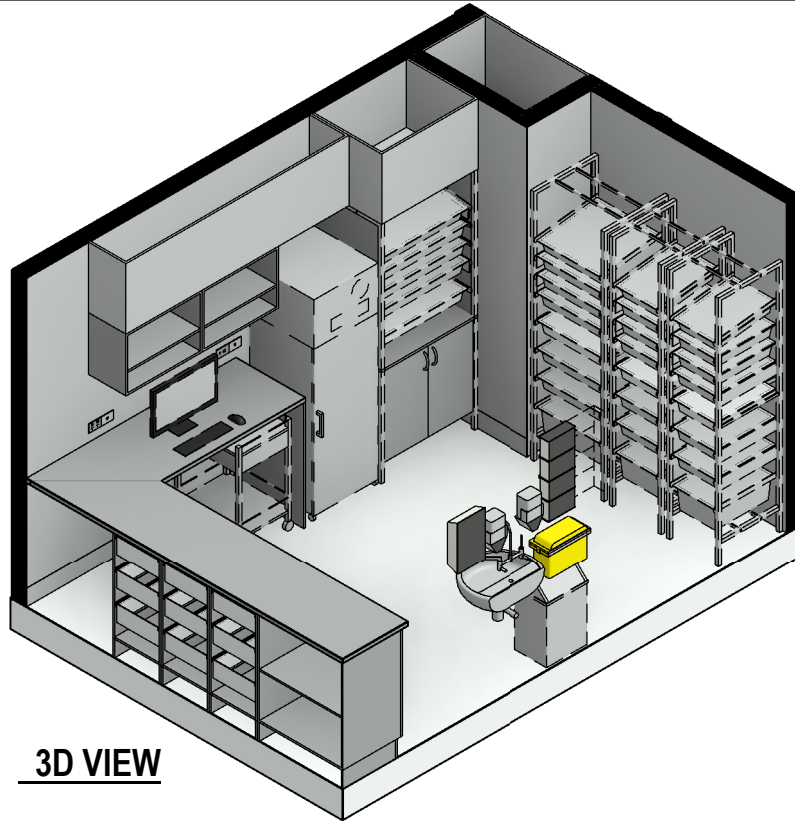
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-23 REVISION C



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

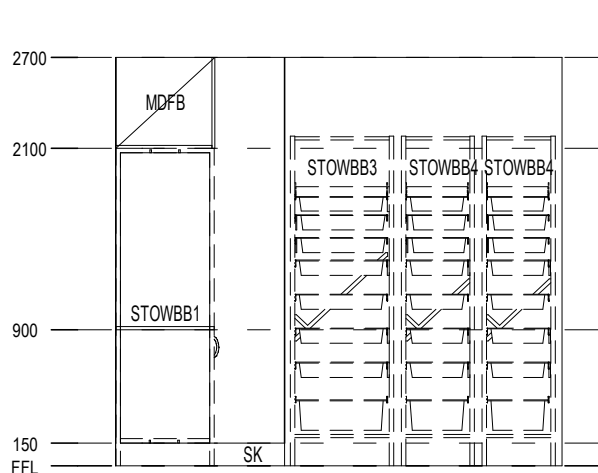
GENERAL POWER OUTLETS

DATA OUTLETS

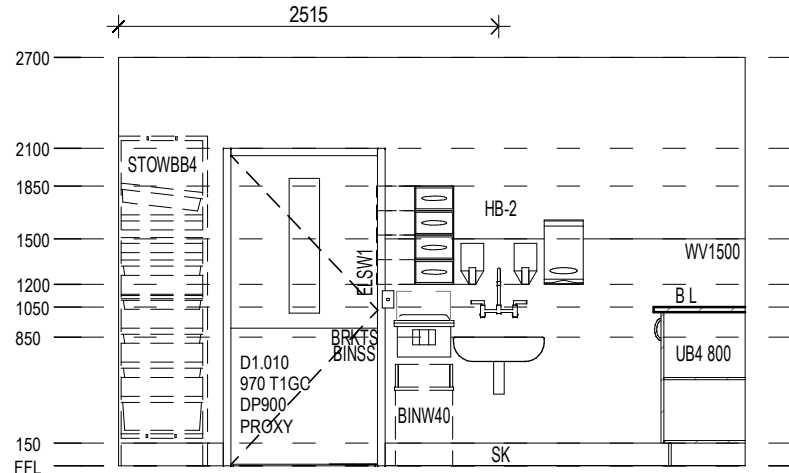
NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

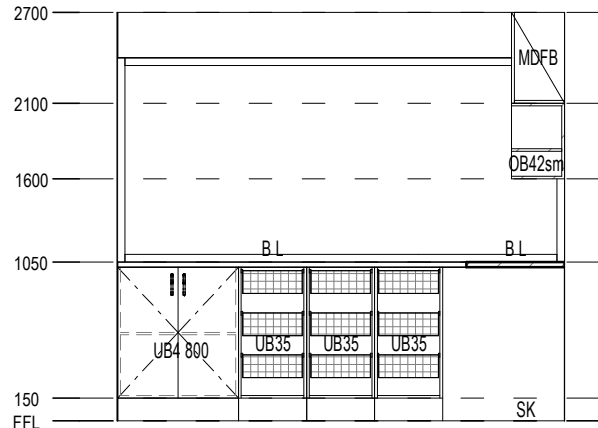
RLS Item List -1.03.02.028 - CLEAN STORE + CYTO			
Item Code	Description	Group	Count
B L	BENCH - LAMINATE FINISH	1	2
COMD	ELECTRICAL FIXTURE : DATA OUTLET ▯ SINGLE	1	2
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
ENDP	CASEWORK - END PANEL	1	1
EPO1	SINGLE POWER OUTLET	1	1
EPO2	DOUBLE POWER OUTLET	1	1
HB2	Handwash Basin - Patient & Staff	1	1
MDFB	BULKHEAD - MDF	1	2
OB42sm	OB CUPBOARD - WITHOUT DOORS SITE MEASURED 500H 350D	1	2
PLTW	PLUMBING - LEVER TAPS WALL MOUNTED	1	1
UB4 800	UB CUPBOARD WITH DOORS 800W	1	1
UB35	UB UNIT ▯ WITH 3 BASKET DRAWERS 450W	1	3
BRKTS	BRACKET - SHARPS DISPOSAL, WALL MOUNTED	2	1
DISAD	Dispenser - Antiseptic	2	1
DISGD	DISPENSER - GLOVE - 4 SIZES	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
STOWBB1	Basket Storage Layout B Starter Bay 900W X 650D X 2100H	2	1
STOWBB3	Basket Storage Layout B Starter Bay 684W X 600D X 2180H	2	1
STOWBB4	Basket Storage Layout B Starter Bay 684W X 600D X 2180H	2	2
BINSS	BIN - SHARPS DISPOSAL SMALL, WALL MOUNTED	3	1
BINW40	Bin - Waste 40 Litre	3	1
CLERPCF	CLERICAL ▯ FLAT SCREEN AND PC	3	1
TLDRES1	TROLLEY - DRESSING SINGLE DRAWER	3	1



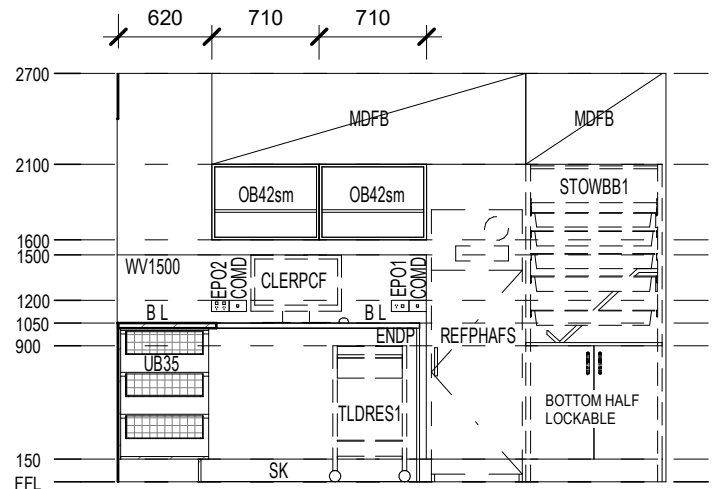
A 48 - CLEAN STORE + CYTO
61-S1



B 48 - CLEAN STORE + CYTO
61-S1



C 48 - CLEAN STORE + CYTO
61-V1-01





D 48 - CLEAN STORE + CYTO
61-S1

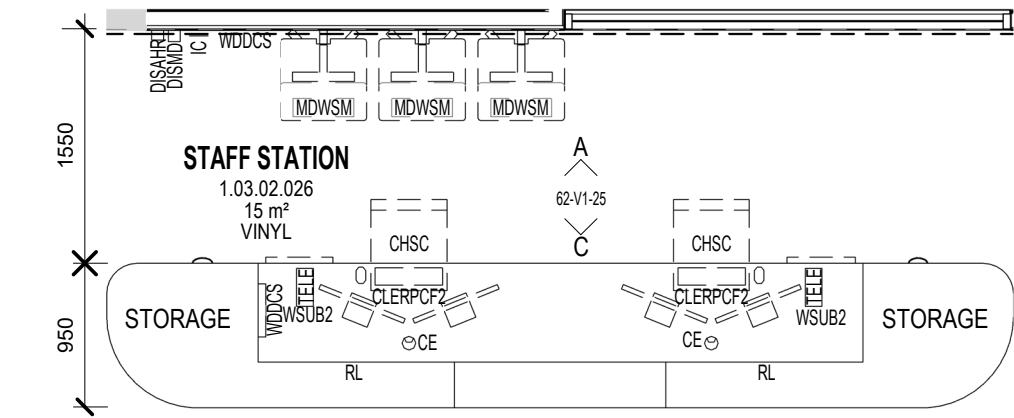
REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION	23/02/2022	
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

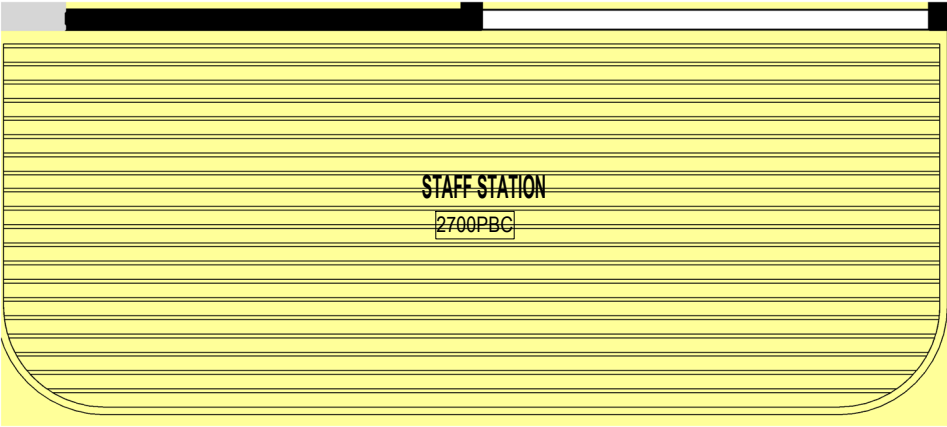
ARCHITECTS
STH
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT	 
PROJECT	Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580
ISSUED FOR INFORMATION	

DRAWING TITLE			
ROOM LAYOUT SHEET ONCOLOGY CLEAN STORE + CYTO			
SCALE 1 : 50@A3	DATE 02/22/22	DRAWN BY Author	CHECKED DP
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-V1-24	REVISION C	



FLOOR PLAN



REFLECTED CEILING PLAN

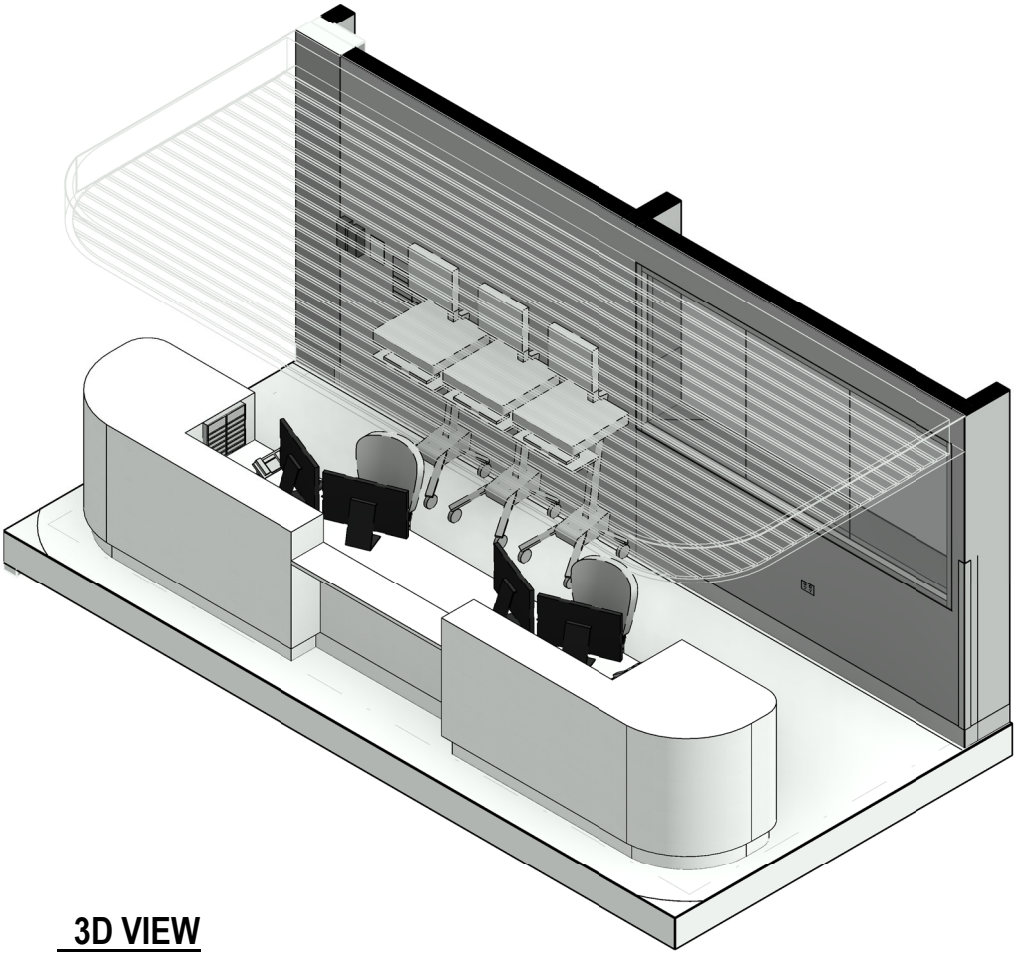
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

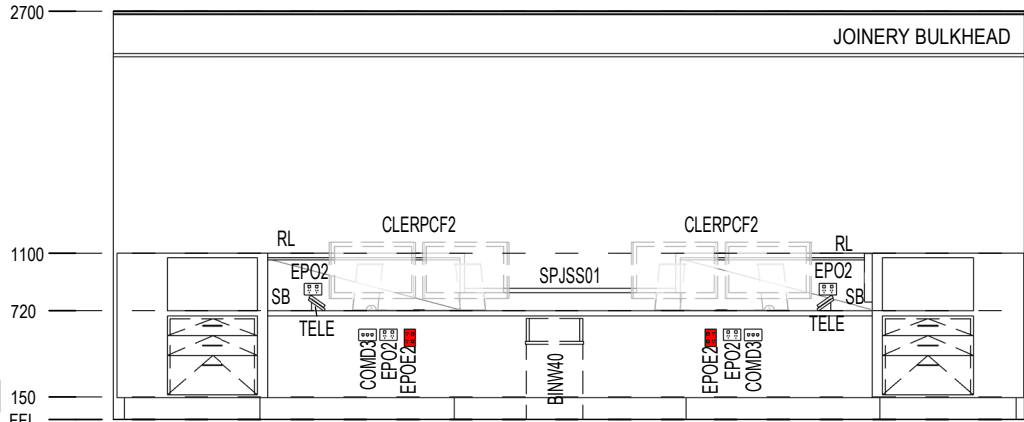
- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

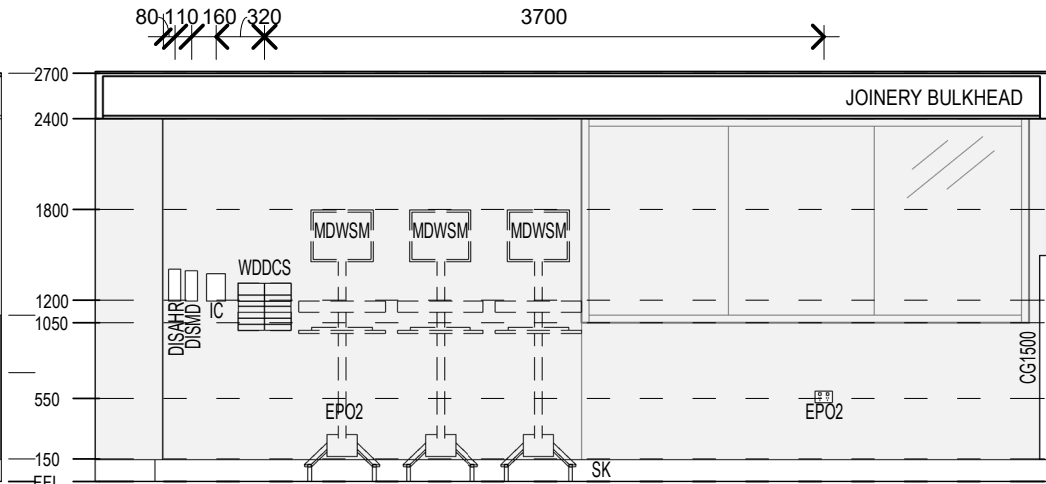
RLS Item List -1.03.02.026 - STAFF STATION			
Item Code	Description	Group	Count
BH L	BENCH HIGH LAMINATE FINISH	1	1
BLINDBK	BLIND - SINGLE ROLLER BLIND - BLACKOUT	1	3
CG900	CORNER GUARD 900 HIGH	1	1
COMD	ELECTRICAL FIXTURE : DATA OUTLET □ SINGLE	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
EPO1	SINGLE POWER OUTLET	1	1
EPO2	DOUBLE POWER OUTLET	1	2
RKMAGS	RACK □ MAGAZINE, SMALL	1	1
TRSG	Door - Roller Shutter Grille	1	1
TVWB	BRACKET - TELEVISION WALL MOUNTED	1	1
WB1	WALL BUFFER SINGLE	1	6
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCDW	TELEVISION - TELEVISION LCD WALL MOUNTED	2	1
ART	ARTWORK PANEL	3	3
BINW40	Bin - Waste 40 Litre	3	1
CHBAR	CHAIR □ BAR STOOL	3	3
CHBARI	CHAIR - BARIATRIC	3	1
CHV	CHAIR - VISITOR	3	8
CUTA3	TALL CUP'D WITH TAMBOUR DOOR 1200H 900W 500D	3	1
MDWSM	MEDICAL DIAGNOSTIC EQUIPMENT -WORKSTATION MOBILE	3	1
TACFS	TABLE - SMALL COFFEE	3	1



3D VIEW



C 68 - STAFF STATION
61-V1-01



D 68 - STAFF STATION
61-V1-01

REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION		23/02/2022
B	ISSUED FOR FINAL REVIEW	DP	20/05/2022
C	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

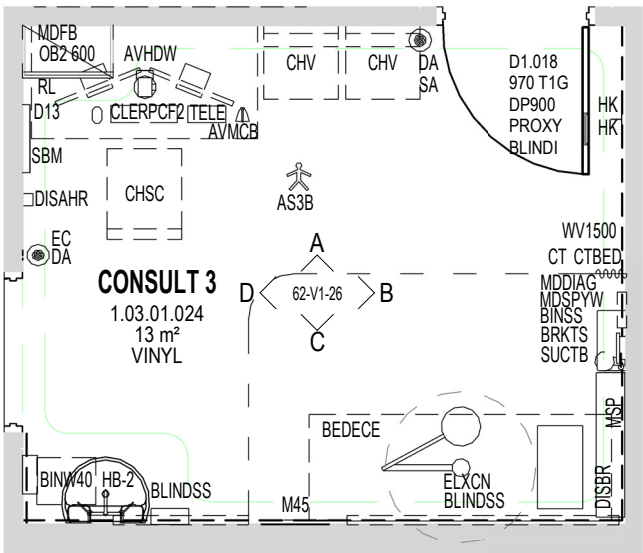
ISSUED FOR INFORMATION

DRAWING TITLE

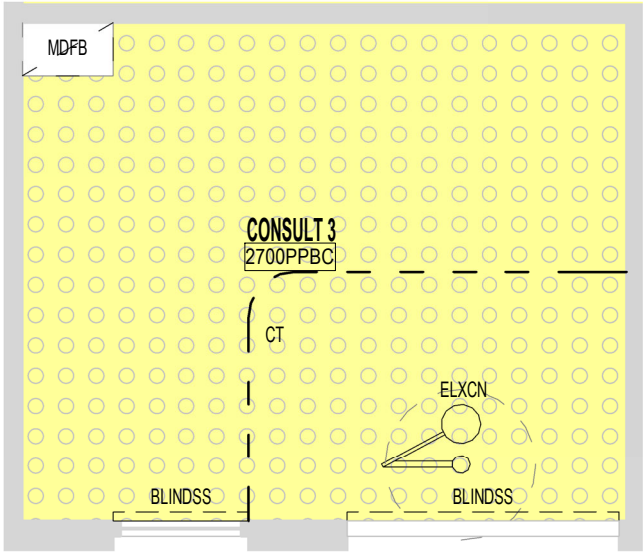
**ROOM LAYOUT SHEET
ONCOLOGY
STAFF STATION**

SCALE 1 : 50@A3 DATE 02/22/22 DRAWN BY Author CHECKED Checker

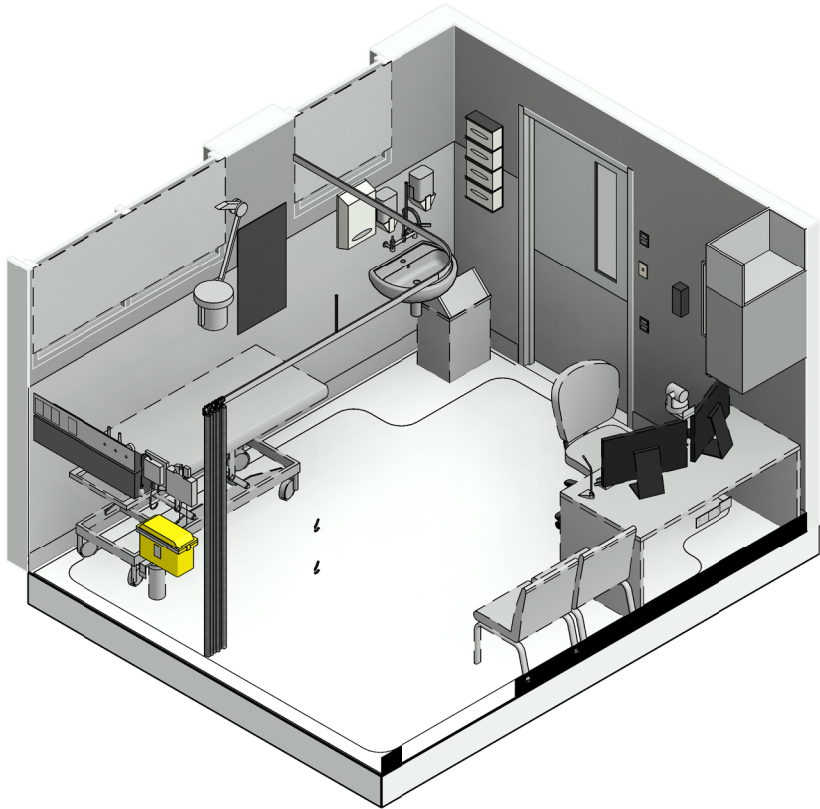
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-25 REVISION **C**



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.03.01.024 - CONSULT 3			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	2
COMDD		1	2
CT	Curtain Track - Removable Cassette Type	1	1
DA	DURESS ALARM	1	2
EC	EMERGENCY CALL	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
ELXCN	LIGHTING : CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2		1	3
EPOE2	ELECTRICAL FIXTURES: DOUBLE ESSENTIAL POWER OUTLET	1	1
EPRCD	ELECTRICAL FIXTURES - RESIDUAL CURRENT DEVICE	1	2
HB2	Handwash Basin - Patient & Staff	1	1
HK	Hook - Hat & Coat - Standard	1	2
M45	MIRROR - 450W X 850H	1	1
MDFB	BULKHEAD - MDF	1	1
MSP	MEDICAL SERVICES PANEL	1	1
OB2 600	OB CUPBOARD - WITHOUT DOORS 700H 600W 350D	1	1
PLTW	PLUMBING - LEVER TAPS WALL MOUNTED	1	1
RL	LIGHT: reading light	1	1
SA	NURSE CALL BUTTON - STAFF ASSIST	1	1

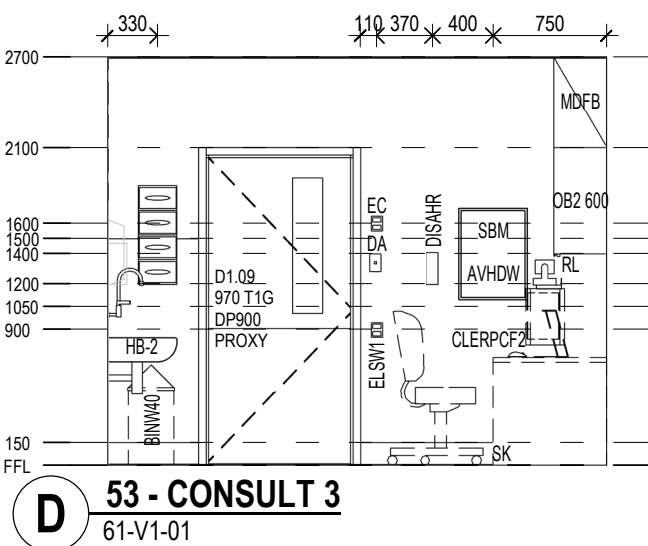
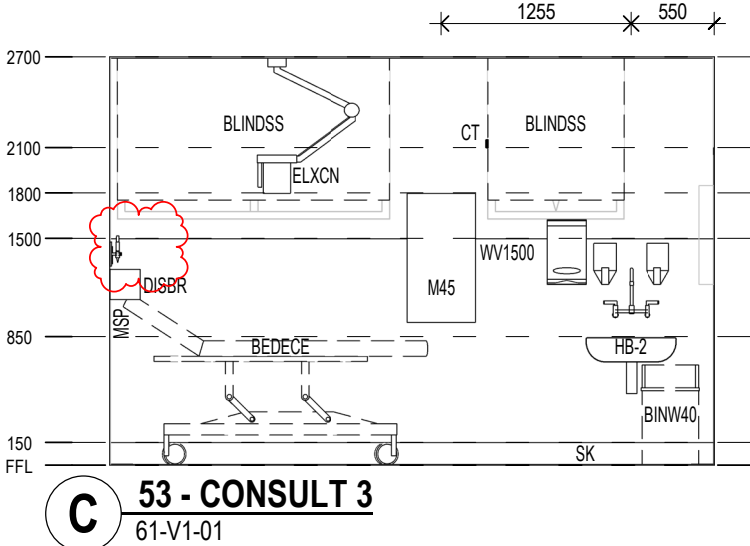
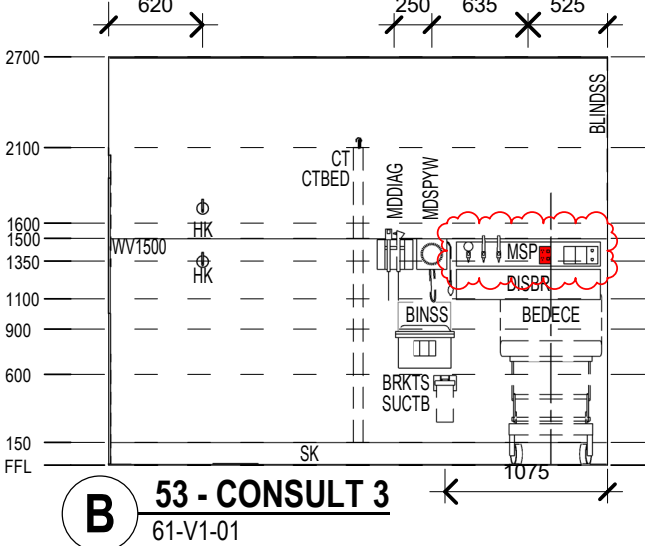
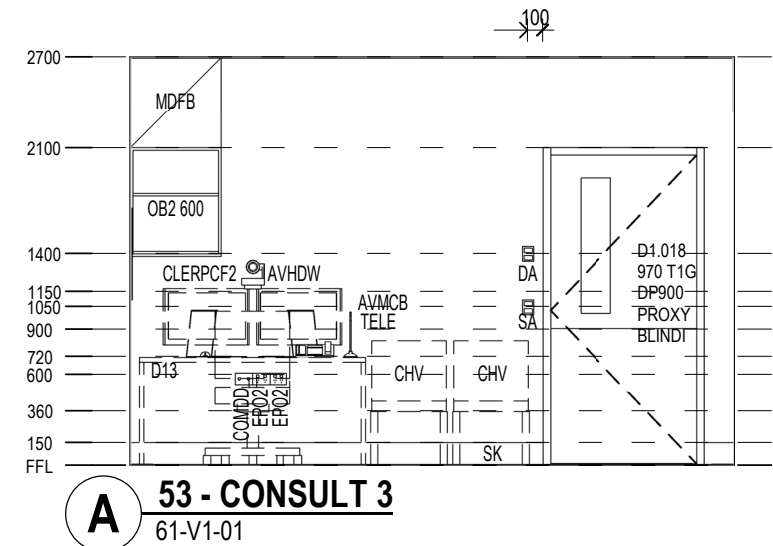
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

RLS Item List -1.03.01.024 - CONSULT 3			
Item Code	Description	Group	Count
SBM	SPIRIT / WHITE BOARD MAGNETIC	1	1
T1G	Door - Single Leaf Glazed Panel	1	1
AVHDW	AUDIO VISUAL - HD CAMERA WALL MOUNTED	2	1
AVMCB	AUDIO VISUAL - MICROPHONE BENCH MOUNTED	2	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
BRKTS	BRACKET - SHARPS DISPOSAL, WALL MOUNTED	2	1
DISAD	Dispenser - Antiseptic	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
DISBR	Dispenser - Bed Roll	2	1
DISGD	DISPENSER - GLOVE - 4 SIZES	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
MDDIAG	DIAGNOSTIC EQUIPMENT - DIAGNOSTIC DISPENSER SET	2	1
MDSPYW	DIAGNOSTIC EQUIPMENT - SPHYGMOMANOMETER (WALL MOUNTED)	2	1
NOSCHED	DIAGNOSTIC SET	2	1
AFLOW	AIR FLOWMETER	3	1
BEDECE	BED - EXAMINATION COUCH ELECTRIC	3	1
BINSS	BIN - SHARPS DISPOSAL SMALL, WALL MOUNTED	3	1
BINW40	Bin - Waste 40 Litre	3	1
CHSC	CHAIR - STAFF CLERICAL ERGONOMIC MEDIUM BACK	3	1
CHV	CHAIR - VISITOR	3	2
CLERPCF2	CLERICAL - 2No. FLAT SCREENS AND PC	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
D13	DESK - STANDARD, 1500 X 750	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TELE	TELEPHONE HANDSET - STANDARD	3	1



REV	DESCRIPTION	DRN	DATE
A	ISSUE FOR INFORMATION		23/02/2022
B	DD 1 PUG REVISIONSS		##/04/2022
C	ISSUED FOR FINAL REVIEW	DP	20/05/2022
D	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works

130 Goldsmith St, Goulburn NSW 2580

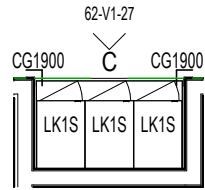
ISSUED FOR INFORMATION

DRAWING TITLE

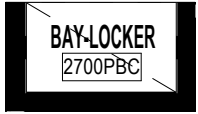
**ROOM LAYOUT SHEET
ONCOLOGY
CONSULT ROOM**

SCALE 1 : 50@A3 DATE 02/22/22 DRAWN BY ED CHECKED CS

PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-26 REVISION **D**



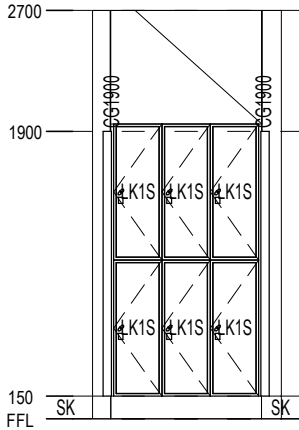
FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW



C BAY - LOCKER
SCALE: 1 : 50

RLS Item List -1.03.04.002 - BAY-LOCKER			
Item Code	Description	Group	Count
CG1900	CORNER GUARD 1900 HIGH	1	2
MDFB	BULKHEAD - MDF	1	1
LK1S	LOCKER □ SMALL 320W X 450D X 900H	3	6

SERVICES LEGEND




- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

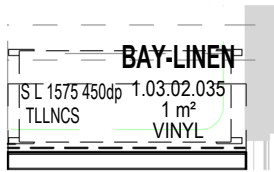
GENERAL POWER OUTLETS

DATA OUTLETS

NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

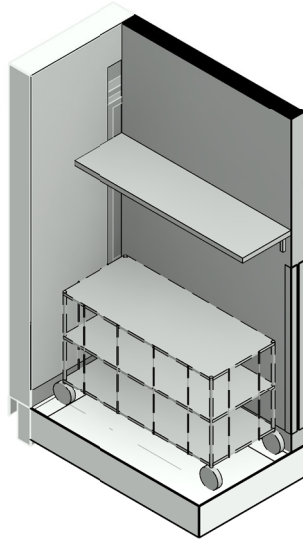
REV	DESCRIPTION	DRN	DATE	ARCHITECTS		CLIENT	DRAWING TITLE		
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022	<p>USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.</p> <p>COPYRIGHT</p> <p>ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.</p> <p>ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES</p>	<div><p>ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</p><p>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</p></div>	<div><p>PROJECT</p><p>Goulburn Hospital Final Works</p><p>130 Goldsmith St, Goulburn NSW 2580</p></div>	<p>ROOM LAYOUT SHEET</p> <p>ONCOLOGY</p> <p>BAY - LOCKER</p> <p>SCALE 1 : 50@A3 DATE 04/05/22 DRAWN BY CHECKED Checker</p> <p>PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-27 REVISION B</p>		
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022						



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List - 1.03.04.002 - BAY- LINEN			
Item Code	Description	Group	Count
CG1900	CORNER GUARD 1900 HIGH	1	2
MDFB	BULKHEAD - MDF	1	1
LK1S	LOCKER i SMALL 320W X 450D X 900H	3	6

SERVICES LEGEND

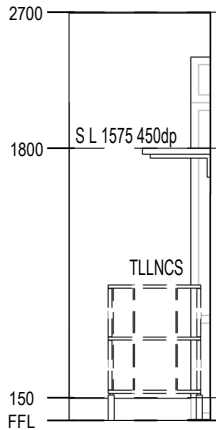
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

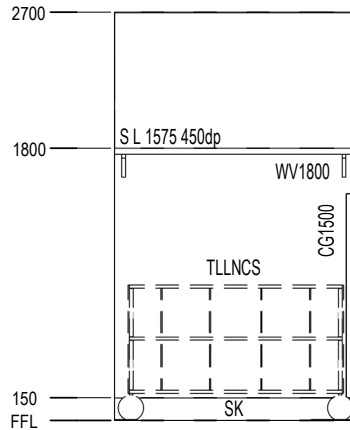
DATA OUTLETS

NOTE:




-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

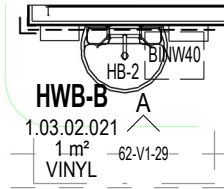


B BAY-LINEN
SCALE: 1 : 50

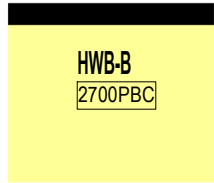


C BAY-LINEN
SCALE: 1 : 50

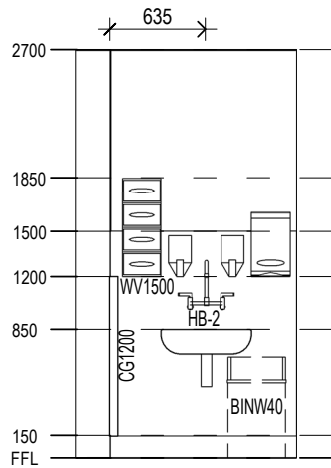
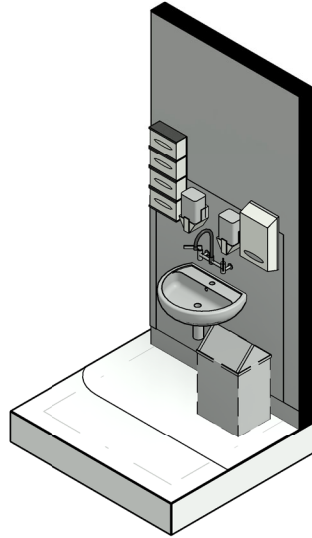
REV	DESCRIPTION	DRN	DATE	ARCHITECTS		CLIENT	DRAWING TITLE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022	<p>USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.</p> <p>COPYRIGHT</p> <p>ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.</p> <p>ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES</p>	<div><div></div><div>ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</div></div> <div><p>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</p></div>	<div><div> </div><div>PROJECT</div><div>Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580</div></div> <div>ISSUED FOR INFORMATION</div>	ROOM LAYOUT SHEET ONCOLOGY BAY-LINEN
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022				SCALE 1 : 50@A3 DATE 04/08/22 DRAWN BY Author CHECKED DP
						PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-28 REVISION B	



FLOOR PLAN



REFLECTED CEILING PLAN



A HWB-B
61-V1-01

RLS Item List -1.03.02.021 - HWB			
Item Code	Description	Group	Count
HB2	Handwash Basin - Patient & Staff	1	1
PLTW	PLUMBING - LEVER TAPS WALL MOUNTED	1	1
WV1500	WALL VINYL 1500 HIGH	1	1
DISAD	Dispenser - Antiseptic	2	1
DISGD	DISPENSER - GLOVE - 4 SIZES	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
BINW40	Bin - Waste 40 Litre	3	1

SERVICES LEGEND

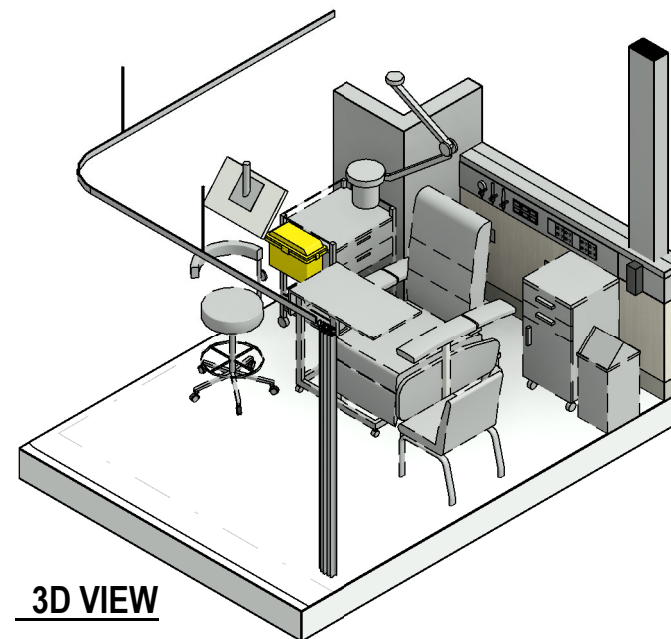
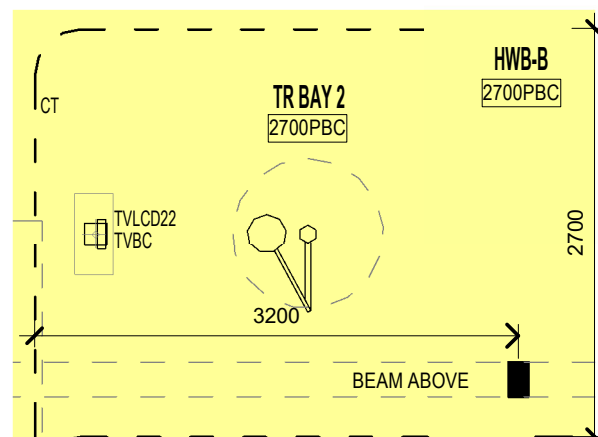
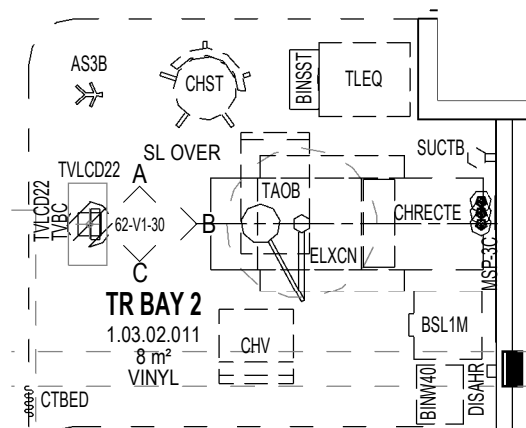
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

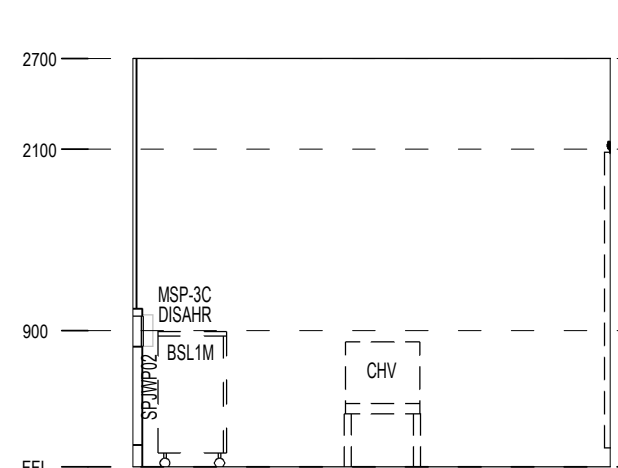
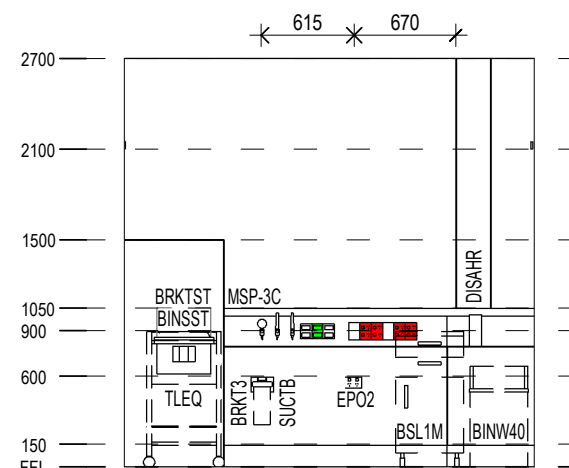
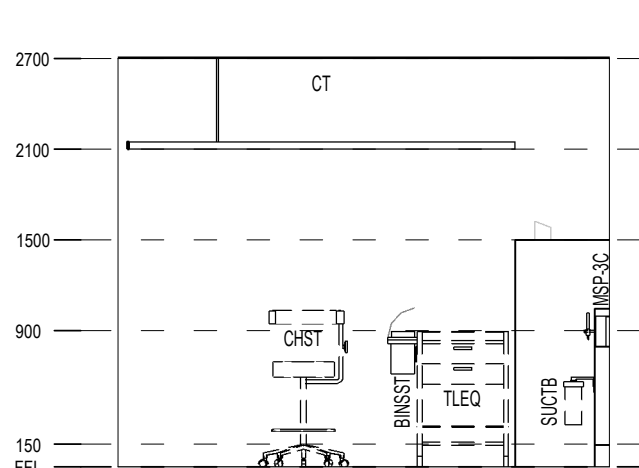
DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

REV	DESCRIPTION	DRN	DATE	ARCHITECTS		CLIENT	DRAWING TITLE	
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022	<div>STH</div> <p>ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</p> <p>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</p>		<div>NSW GOVERNMENT</div> <div>Health Infrastructure</div> <p>PROJECT</p> <p>Goulburn Hospital Final Works</p> <p>130 Goldsmith St, Goulburn NSW 2580</p> <p>ISSUED FOR INFORMATION</p>	BAY- HWB	
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022				SCALE 1 : 50@A3 DATE 05/02/22 DRAWN BY Author CHECKED Checker	
				ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES			PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-29 REVISION B	





RLS Item List -1.03.02.011- TR BAY 2			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
CT	Curtain Track - Removable Cassette Type	1	1
ELXCN	LIGHTING - CEILING MOUNTED EXAMINATION LIGHT	1	1
EP02	DOUBLE POWER OUTLET	1	1
MSP-3C	MEDICAL SERVICES PANEL	1	1
SPJWP02	SPECIAL JOINERY - WALL PANEL	1	1
TVBC	TV Ceiling Bracket	1	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCD22	TELEVISION - LCD FULL HD TV 22" 2MP	2	1
AFLOW	AIR FLOWMETER	3	1
BINW40	Bin - Waste 40 Litre	3	1
BRKTST	BRACKET - SHARPS DISPOSAL, TROLLEY MOUNTED	3	1
BSL1M	BEDSIDE LOCKER WITH 2 DRAWERS, MOBILE	3	1
CHRECTE	CHAIR - RECLINER - TREAMENT, ELECTRIC	3	1
CHST	CHAIR - STOOL	3	1
CHV	CHAIR - VISITOR	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TAOB	TABLE - PATIENT - OVERBED	3	1
TLEQ	TROLLEY - EQUIPMENT	3T	1
BINSST	BIN - SHARPS DISPOSAL SMALL, TROLLEY MOUNTED	4	1






SERVICES LEGEND

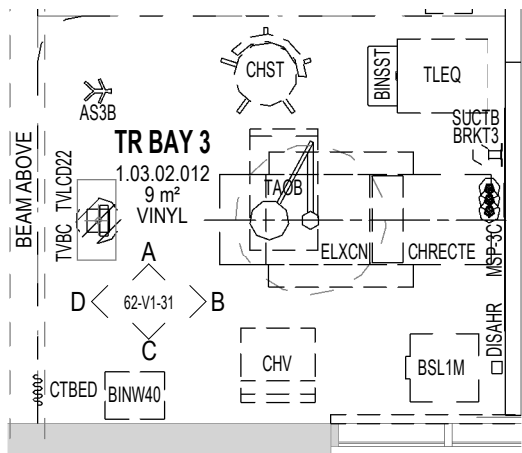
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

-  GENERAL POWER OUTLETS
 DATA OUTLETS

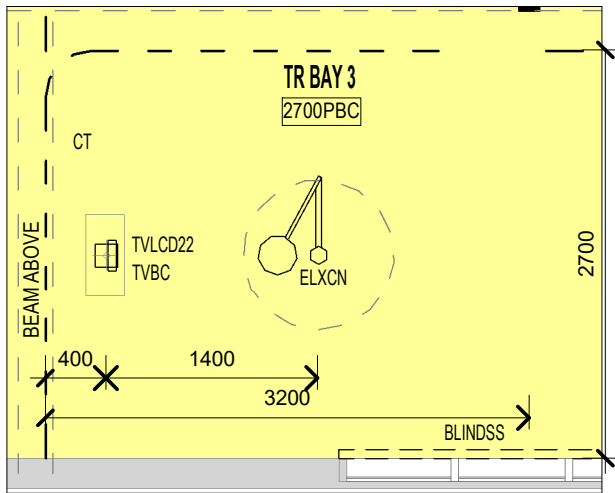
NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

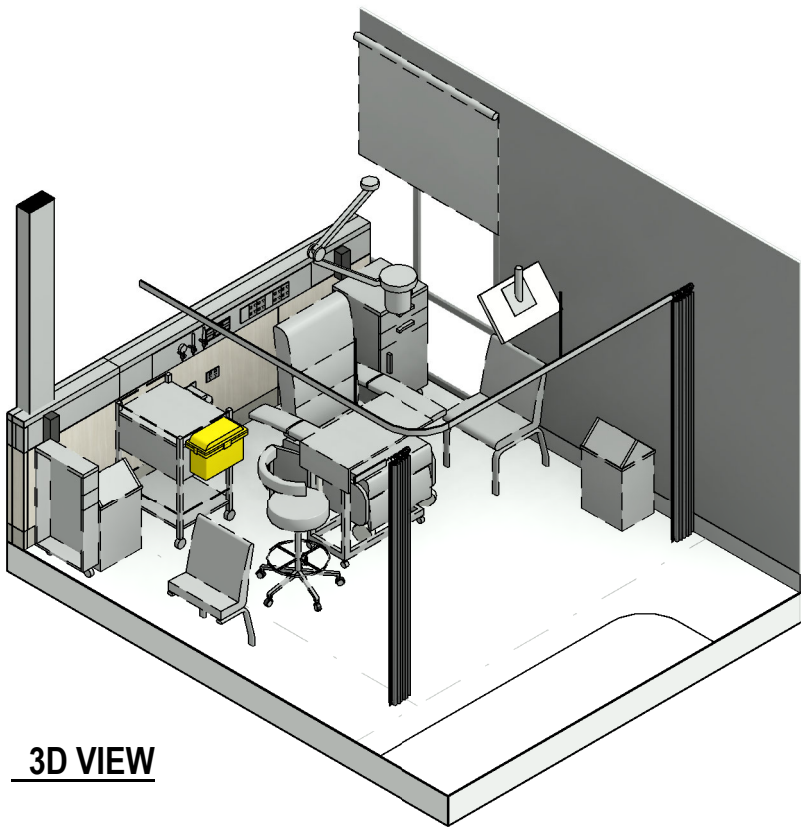
REV	DESCRIPTION	DRN	DATE	DIMENSIONS	ARCHITECTS	CLIENT	DRAWING TITLE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022	USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.			TR BAY 2
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022				
				COPYRIGHT		PROJECT	
				ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	 ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	130 Goldsmith St, Goulburn NSW 2580	SCALE _____ DATE _____ DRAWN BY _____ CHECKED _____
				ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES			PROJECT No _____ DRAWING No _____ REVISION _____
					THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	ISSUED FOR INFORMATION	10516 18483-STH-AR-DWG-62-V1-30 B



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

RLS Item List -1.03.02.012 - TR BAY 3			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
ELXCN	LIGHTING - CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2	DOUBLE POWER OUTLET	1	1
MSP-3C	MEDICAL SERVICES PANEL	1	1
SPJWP02	SPECIAL JOINERY - WALL PANEL	1	1
TVBC	TV Ceiling Bracket	1	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCD22	TELEVISION - LCD FULL HD TV 22" 2MP	2	1
AFLOW	AIR FLOWMETER	3	1
BINW40	Bin - Waste 40 Litre	3	1
BRKTST	BRACKET - SHARPS DISPOSAL, TROLLEY MOUNTED	3	1
BSL1M	BEDSIDE LOCKER WITH 2 DRAWERS, MOBILE	3	1
CHRECTE	CHAIR - RECLINER - TREATMENT, ELECTRIC	3	1
CHST	CHAIR - STOOL	3	1
CHV	CHAIR - VISITOR	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TAOB	TABLE - PATIENT - OVERBED	3	1
TLEQ	TROLLEY - EQUIPMENT	3T	1
BINSST	BIN - SHARPS DISPOSAL SMALL, TROLLEY MOUNTED	4	1

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

DATA OUTLETS

NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.

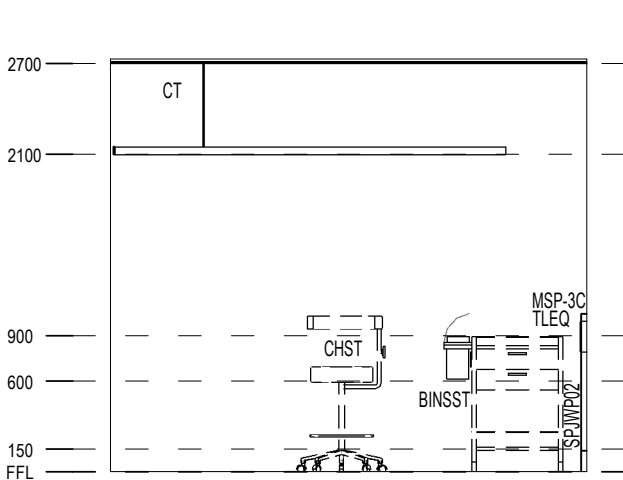
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.

) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.

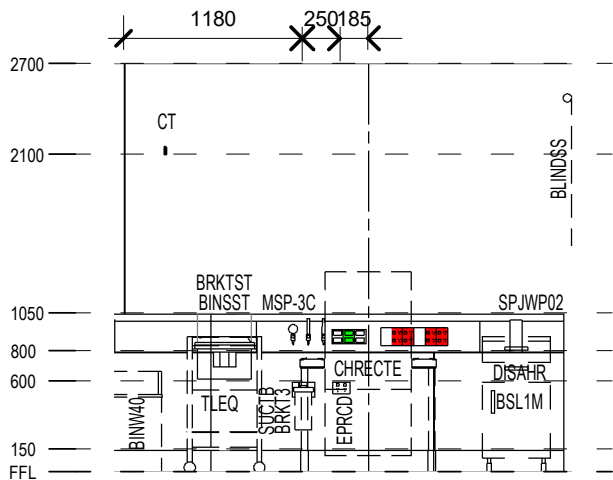
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.

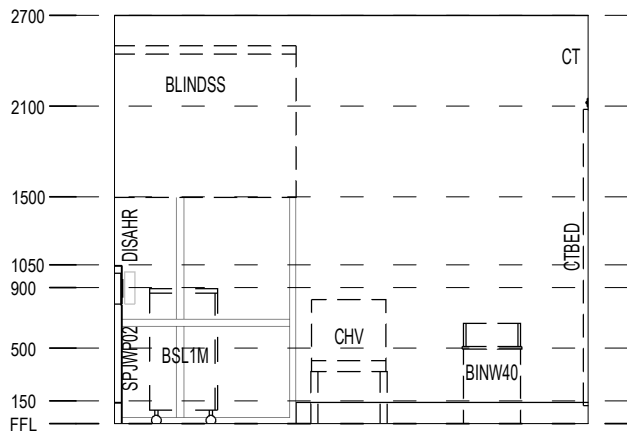
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



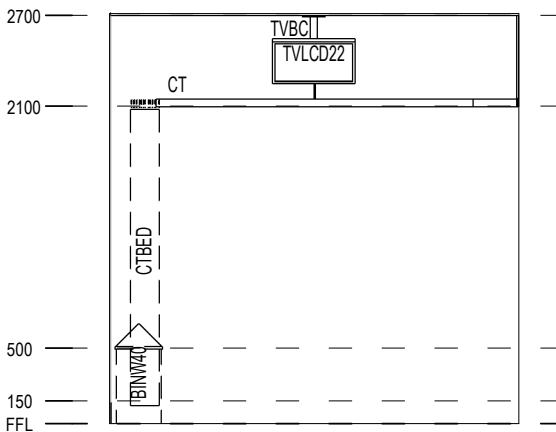
A 5 - TR BAY 3
61-V1-01



B 5 - TR BAY 3
61-V1-01



C 5 - TR BAY 3
61-V1-01




D 5 - TR BAY 3
61-V1-01

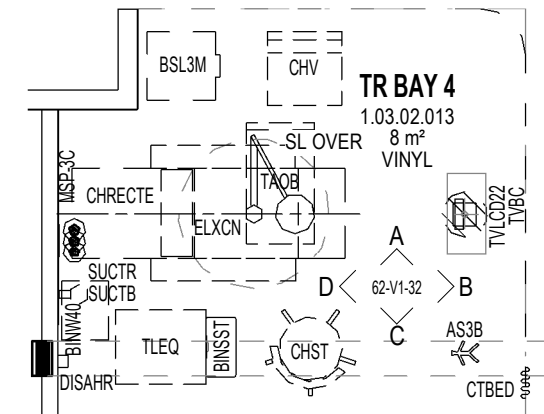
REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

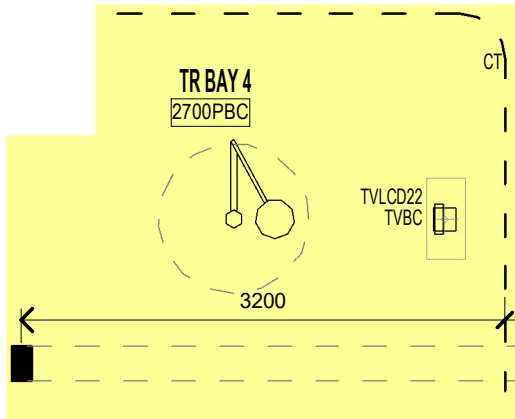
ARCHITECTS
STH
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT	 
PROJECT	Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580
ISSUED FOR INFORMATION	

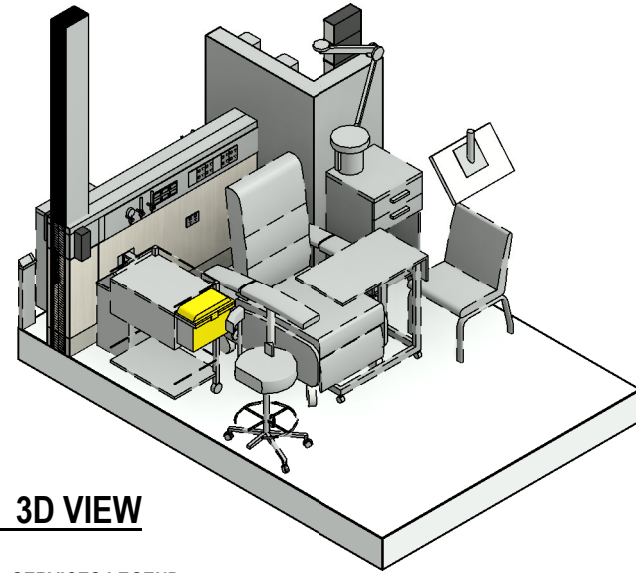
DRAWING TITLE			
TR BAY 3			
SCALE 1 : 50@A3	DATE 05/12/22	DRAWN BY YX	CHECKED CS
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-V1-31	REVISION B	



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

SERVICES LEGEND

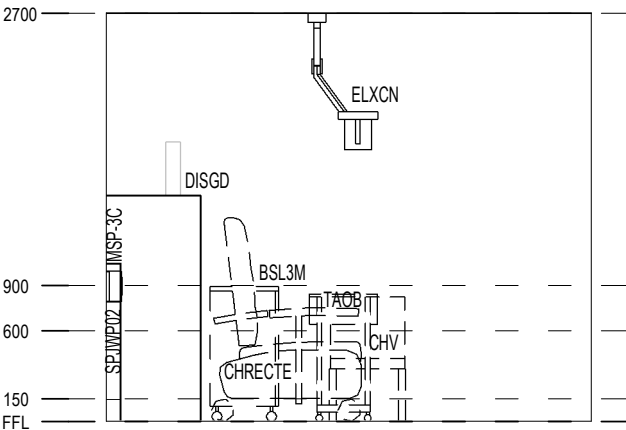
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

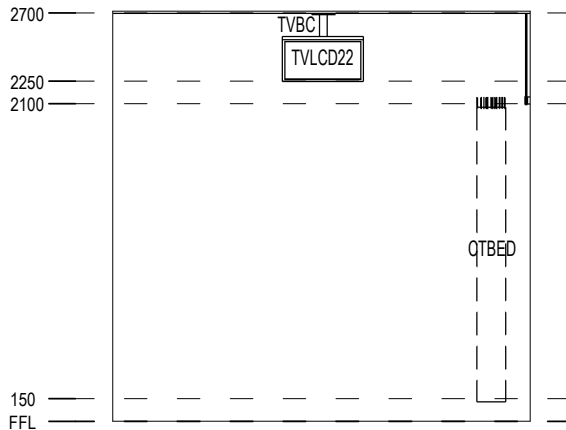
NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

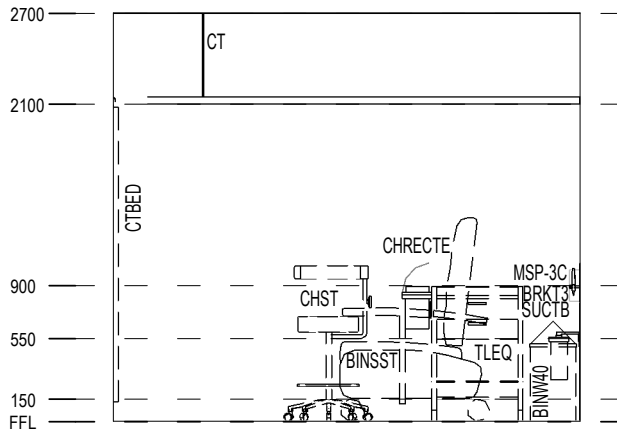
RLS Item List - 1.03.02.013 - TR BAY 4			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
CT	Curtain Track - Removable Cassette Type	1	1
ELXCN	LIGHTING CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2	DOUBLE POWER OUTLET	1	1
MSP-3C	MEDICAL SERVICES PANEL	1	1
SPJWP02	SPECIAL JOINERY - WALL PANEL	1	1
TVBC	TV Ceiling Bracket	1	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCD22	TELEVISION - LCD FULL HD TV 22" 2MP	2	1
AFLOW	AIR FLOWMETER	3	1
BINW40	Bin - Waste 40 Litre	3	1
BRKTST	BRACKET - SHARPS DISPOSAL, TROLLEY MOUNTED	3	1
CHRECTE	CHAIR - RECLINER - TREATMENT, ELECTRIC	3	1
CHST	CHAIR - STOOL	3	1
CHV	CHAIR - VISITOR	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TAOB	TABLE - PATIENT - OVERBED	3	1
BSL3M	BEDSIDE LOCKER WITH DRAWERS AND OPEN UNDER, MOBILE	3T	1
TLEQ	TROLLEY - EQUIPMENT	3T	1
BINSST	BIN - SHARPS DISPOSAL SMALL, TROLLEY MOUNTED	4	1



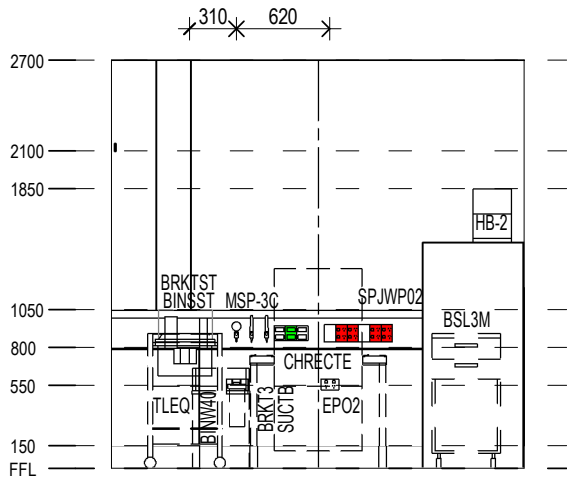
A 7 - TR BAY 4
61-V1-01



B 7 - TR BAY 4
61-V1-01



C 7 - TR BAY 4
61-V1-01



D 7 - TR BAY 4
61-V1-01

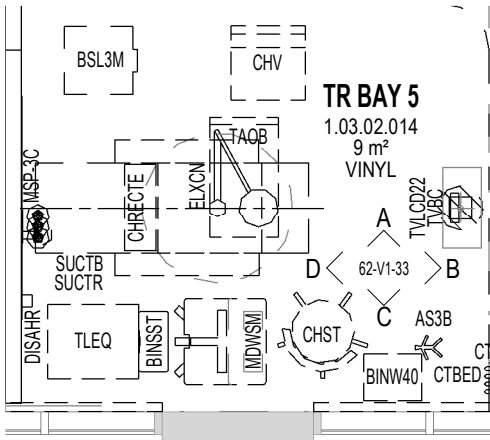
REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

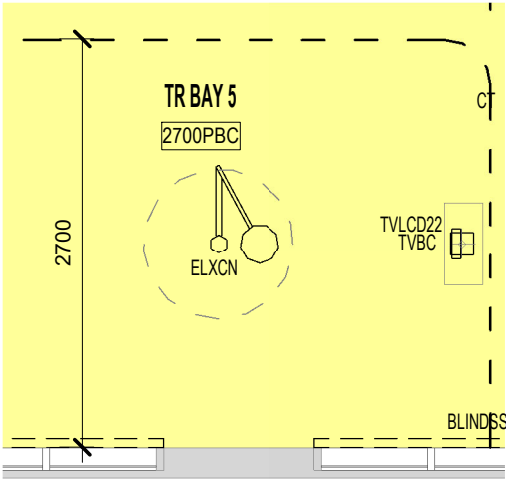
ARCHITECTS	
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	

CLIENT	
PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	
ISSUED FOR INFORMATION	

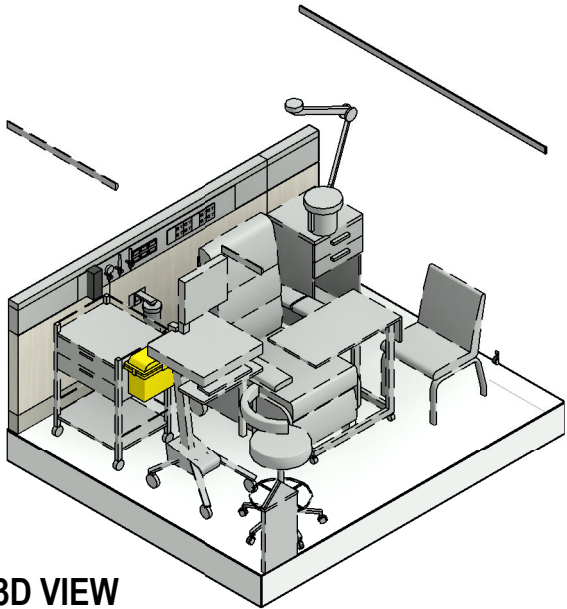
DRAWING TITLE			
TR BAY 4			
SCALE 1 : 50@A3	DATE 05/12/22	DRAWN BY YX	CHECKED CS
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-V1-32	REVISION B	



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

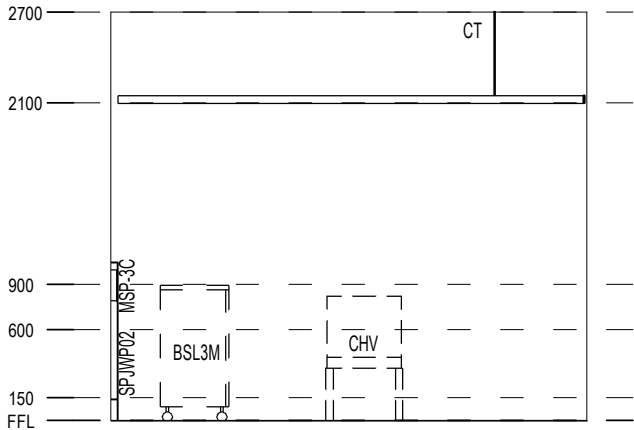
SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

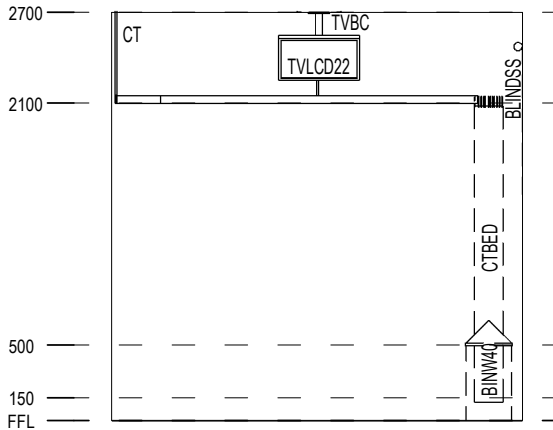
- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

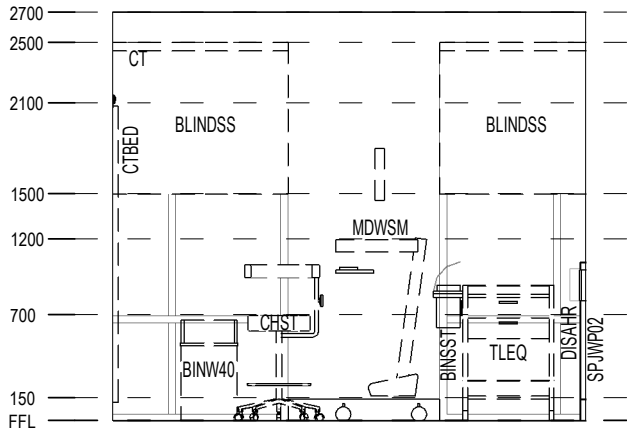
RLS Item List -1.03.02.014 - TR BAY 5			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
ELXCN	LIGHTING CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2	DOUBLE POWER OUTLET	1	1
MSP-3C	MEDICAL SERVICES PANEL	1	1
SPJWP02	SPECIAL JOINERY - WALL PANEL	1	1
TVBC	TV Ceiling Bracket	1	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCD22	TELEVISION - LCD FULL HD TV 22" 2MP	2	1
AFLOW	AIR FLOWMETER	3	1
BINW40	Bin - Waste 40 Litre	3	1
BRKTST	BRACKET - SHARPS DISPOSAL, TROLLEY MOUNTED	3	1
CHRECTE	CHAIR - RECLINER - TREATMENT, ELECTRIC	3	1
CHST	CHAIR - STOOL	3	1
CHV	CHAIR - VISITOR	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
MDWSM	MEDICAL DIAGNOSTIC EQUIPMENT -WORKSTATION MOBILE	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TAOB	TABLE - PATIENT - OVERBED	3	1
BSL3M	BEDSIDE LOCKER WITH DRAWERS AND OPEN UNDER, MOBILE	3T	1
TLEQ	TROLLEY - EQUIPMENT	3T	1
BINSST	BIN - SHARPS DISPOSAL SMALL, TROLLEY MOUNTED	4	1



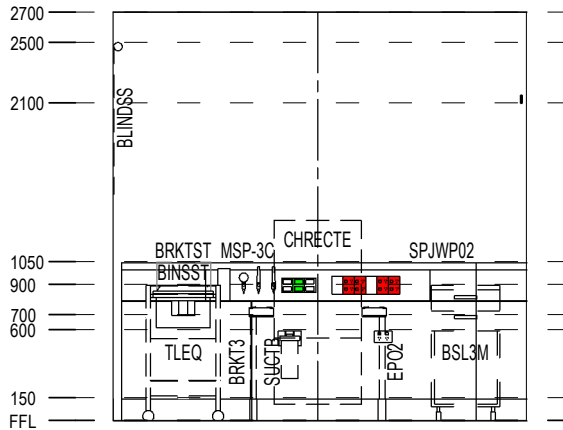
A TR BAY 5
61-V1-01



B TR BAY 5
61-V1-01




C TR BAY 5
61-V1-01




D TR BAY 5
61-V1-01

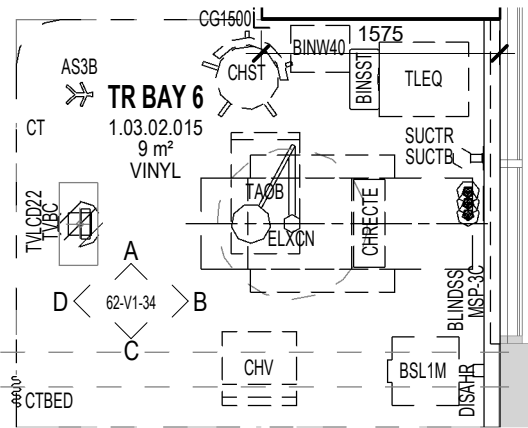
REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS	
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	
COPYRIGHT	
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	

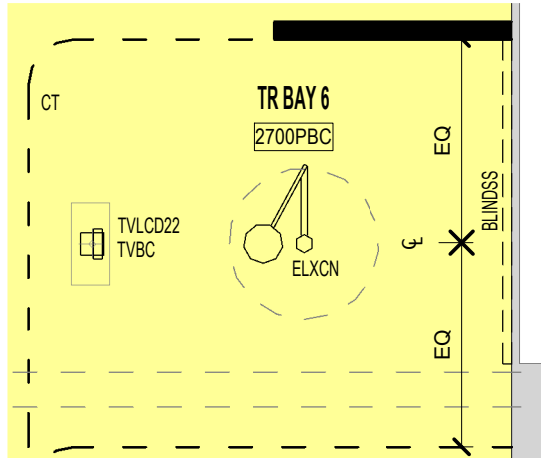
ARCHITECTS

ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT	
PROJECT	Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580
ISSUED FOR INFORMATION	

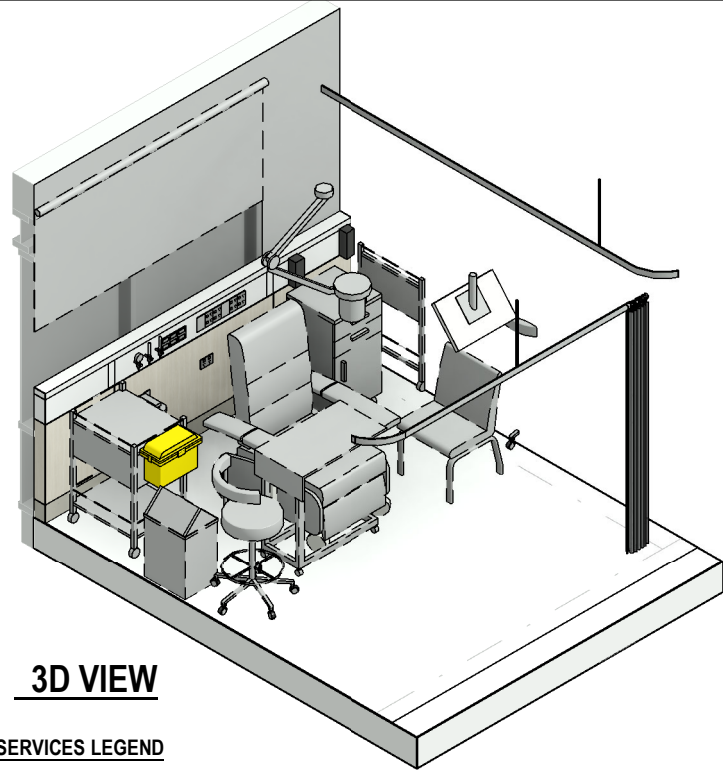
DRAWING TITLE			
TR BAY 5			
SCALE 1 : 50@A3	DATE 05/12/22	DRAWN BY YX	CHECKED CS
PROJECT No 10516	DRAWING No 18483-STH-AR-DWG-62-V1-33	REVISION B	



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

SERVICES LEGEND

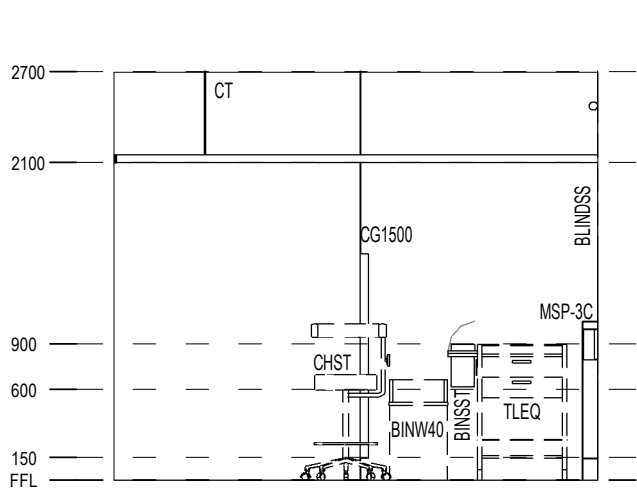
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

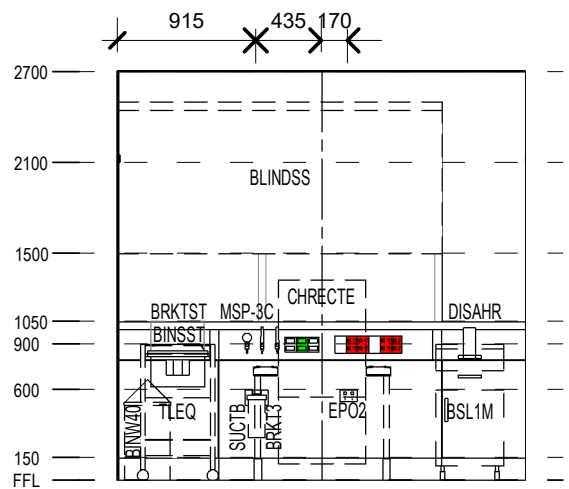
NOTE:

-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

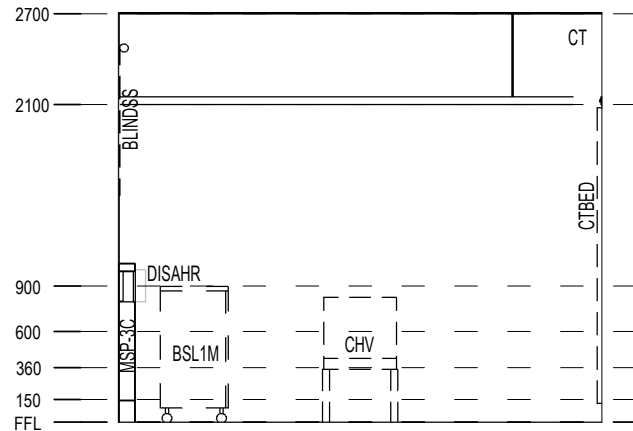
RLS Item List -1.03.02.015 - TR BAY 6			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
CG1500	CORNER GUARD 1500 HIGH	1	1
CT	Curtain Track - Removable Cassette Type	1	2
ELXCN	LIGHTING - CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2	DOUBLE POWER OUTLET	1	1
MSP-3C	MEDICAL SERVICES PANEL	1	1
TVBC	TV Ceiling Bracket	1	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCD22	TELEVISION - LCD FULL HD TV 22" 2MP	2	1
AFLOW	AIR FLOWMETER	3	1
BINW40	Bin - Waste 40 Litre	3	1
BRKTST	BRACKET - SHARPS DISPOSAL, TROLLEY MOUNTED	3	1
BSL1M	BEDSIDE LOCKER WITH 2 DRAWERS, MOBILE	3	1
CHRECTE	CHAIR - RECLINER - TREATMENT, ELECTRIC	3	1
CHST	CHAIR - STOOL	3	1
CHV	CHAIR - VISITOR	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TAOB	TABLE - PATIENT - OVERBED	3	1
TLEQ	TROLLEY - EQUIPMENT	3T	1
BINSST	BIN - SHARPS DISPOSAL SMALL, TROLLEY MOUNTED	4	1



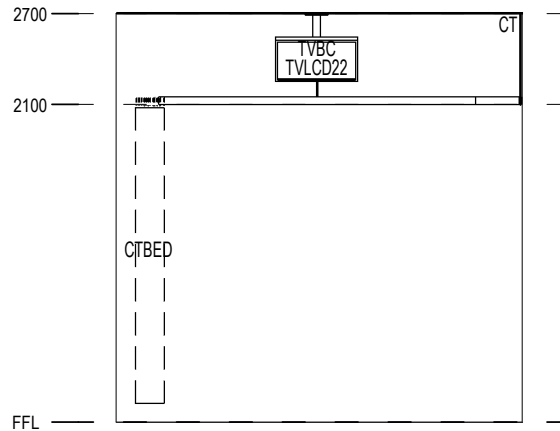
A 10 - TR BAY 6
61-V1-01



B 10 - TR BAY 6
61-V1-01



C 10 - TR BAY 6
61-V1-01



D 10 - TR BAY 6
61-V1-01

REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS

STH

ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455

THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT

NSW Health Infrastructure

PROJECT

Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

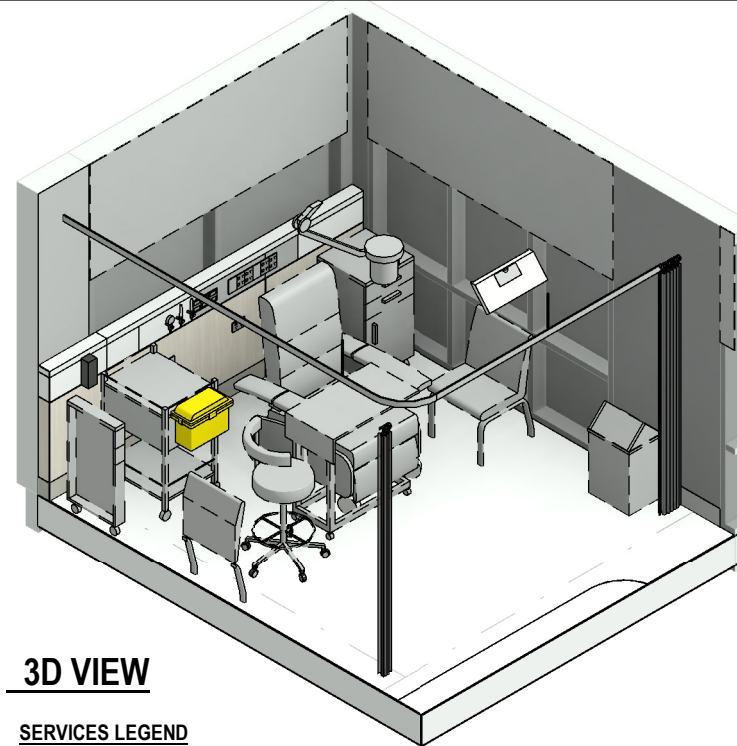
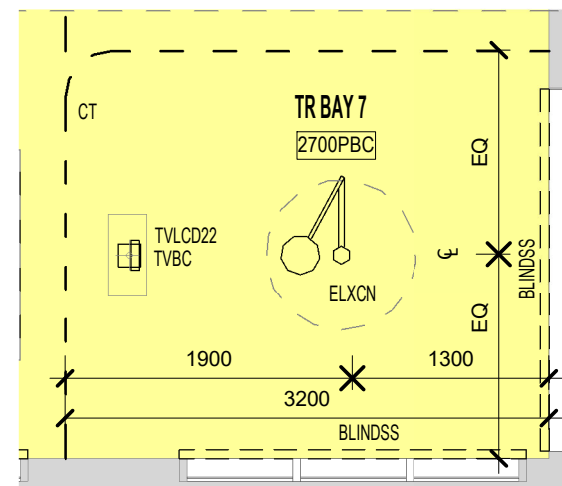
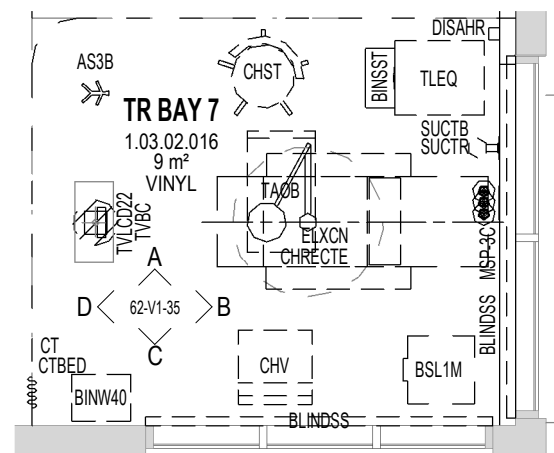
ISSUED FOR INFORMATION

DRAWING TITLE

TR BAY 6

SCALE 1 : 50@A3 DATE 05/12/22 DRAWN BY YX CHECKED CS

PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-34 REVISION **B**



3D VIEW

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

 GENERAL POWER OUTLETS

 DATA OUTLETS

NOTE:

) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.

) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHEG FOR THE HEIGHT.

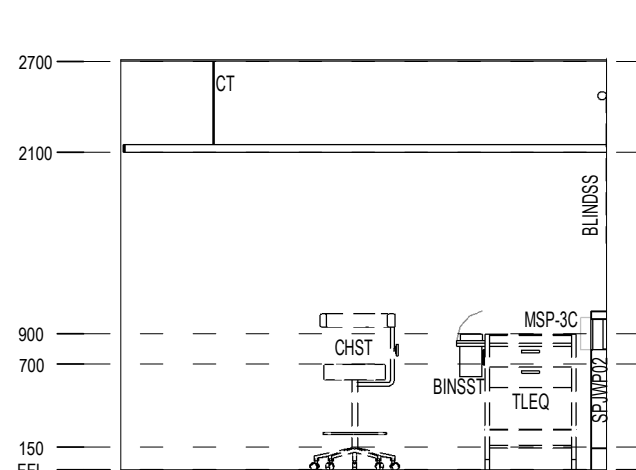
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.

) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.

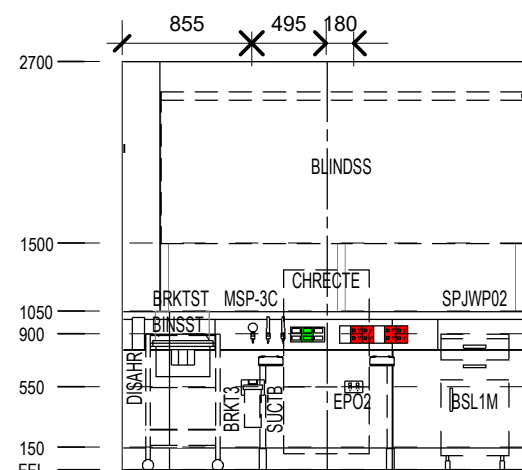
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.

) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

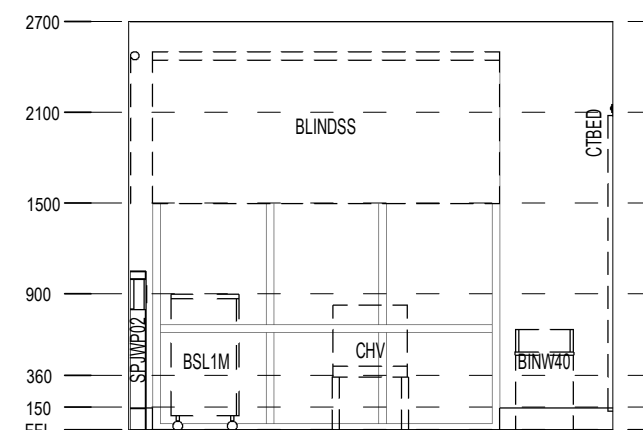
RLS Item List -1.03.02.016 - TR BAY 7			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	2
ELXCN	LIGHTING - CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2	DOUBLE POWER OUTLET	1	1
MSP-3C	MEDICAL SERVICES PANEL	1	1
SPJWP02	SPECIAL JOINERY - WALL PANEL	1	1
TVBC	TV Ceiling Bracket	1	1
BRKT3	BACKET - SUCTION BOTTLE BRACKET	2	1
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
TVLCD22	TELEVISION - LCD FULL HD TV 22" 2MP	2	1
AFLOW	AIR FLOWMETER	3	1
BINW40	Bin - Waste 40 Litre	3	1
BRKTST	BACKET - SHARPS DISPOSAL, TROLLEY MOUNTED	3	1
BSL1M	BEDSIDE LOCKER WITH 2 DRAWERS, MOBILE	3	1
CHRECTE	CHAIR - RECLINER - TREATMENT, ELECTRIC	3	1
CHST	CHAIR - STOOL	3	1
CHV	CHAIR - VISITOR	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TAOB	TABLE - PATIENT - OVERBED	3	1
TLEQ	TROLLEY - EQUIPMENT	3T	1
BINSST	BIN - SHARPS DISPOSAL SMALL, TROLLEY MOUNTED	4	1



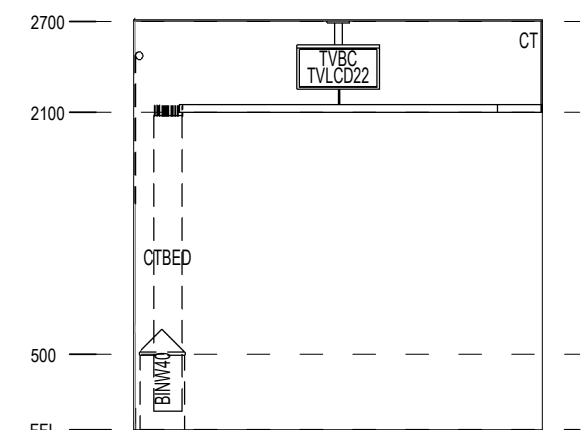
A **TR BAY 7**
61-V1-01





B **TR BAY 7**
61-V1-01

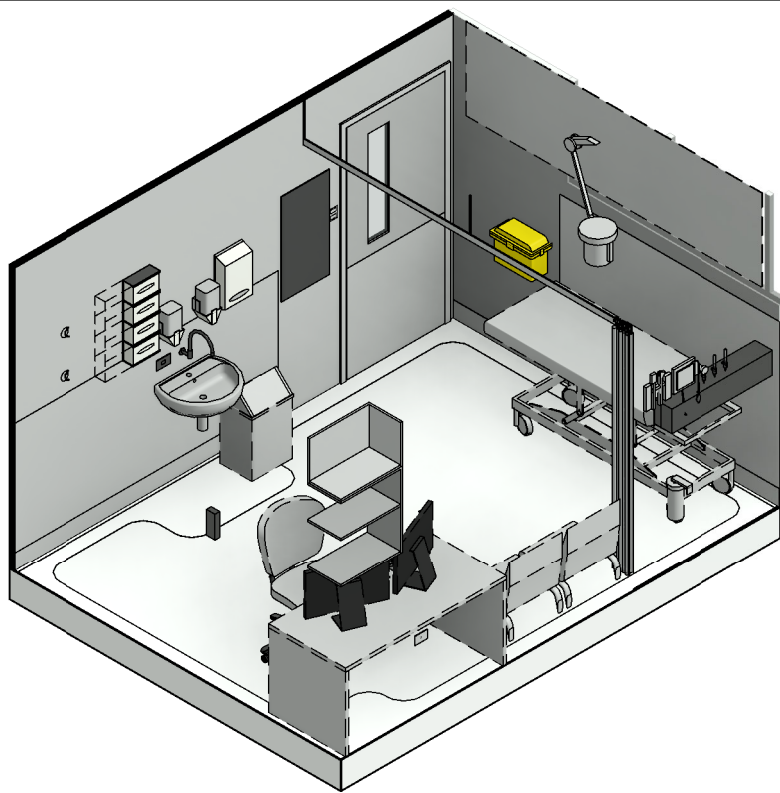
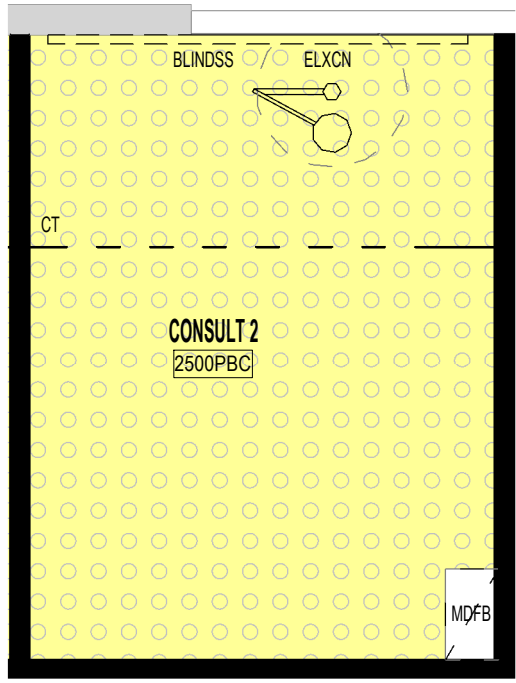
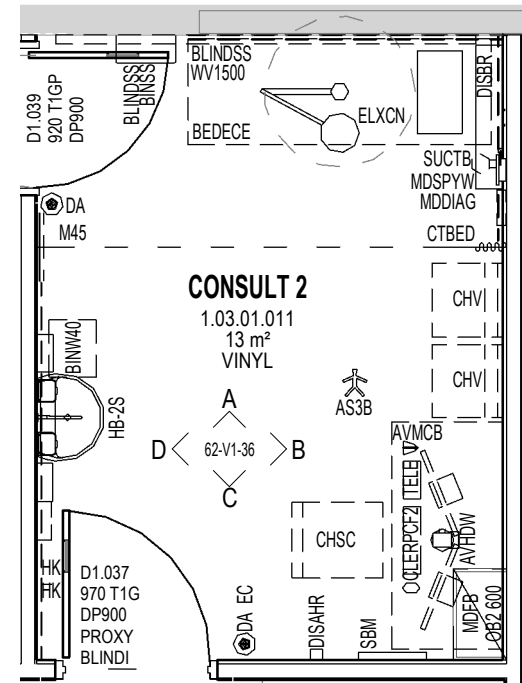


C **TR BAY 7**
61-V1-01



D **TR BAY 7**
61-V1-01

REV	DESCRIPTION	DRN	DATE	DIMENSIONS	ARCHITECTS	CLIENT	DRAWING TITLE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022	<p>USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.</p> <p>COPYRIGHT ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.</p> <p>ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES</p>	 <p>ABN: 21 134 476 065 PELACOD COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455</p> <p>THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION</p>		TR BAY 7
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022				
						PROJECT	Goulburn Hospital Final Works
						130 Goldsmith St, Goulburn NSW 2580	
						ISSUED FOR INFORMATION	
							SCALE _____ DATE _____ DRAWN BY _____ CHECKED _____ 1 : 50@A3 05/12/22 YX CS
							PROJECT No _____ DRAWING No _____ REVISION _____ 10516 18483-STH-AR-DWG-62-V1-35 B



3D VIEW

SERVICES LEGEND

- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

GENERAL POWER OUTLETS

DATA OUTLETS

NOTE:

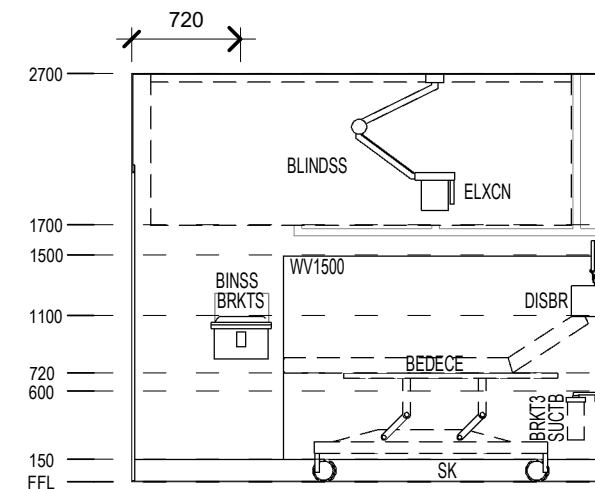
-) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
-) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
-) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
-) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
-) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
-) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.

RLS Item List -1.03.01.011 - CONSULT 2			
Item Code	Description	Group	Count
AS3B	AS 3003 PROTECTION, BODY	1	1
BLINDSS	BLIND - SINGLE ROLLER BLIND - SHEER	1	1
COMD	ELECTRICAL FIXTURE : DATA OUTLET ▯ SINGLE	1	2
DA	DURESS ALARM	1	2
EC	EMERGENCY CALL	1	1
ELSW1	ELECTRICAL FIXTURE : LIGHT SWITCH - ONE WAY	1	1
ELXCN	LIGHTING ▯ CEILING MOUNTED EXAMINATION LIGHT	1	1
EPO2	DOUBLE POWER OUTLET	1	2
EPRCD	ELECTRICAL FIXTURES - RESIDUAL CURRENT DEVICE	1	2
HB2S	Handwash Basin - Patient with Sensor Tap	1	1
HK	Hook - Hat & Coat - Standard	1	3
M45	MIRROR - 450W X 850H	1	1
MDFB	BULKHEAD - MDF	1	1
MSP	MEDICAL SERVICES PANEL	1	1
OB2 600	OB CUPBOARD - WITHOUT DOORS 700H 600W 350D	1	1
SBM	SPIRIT / WHITE BOARD MAGNETIC	1	1
AVHDW	AUDIO VISUAL - HD CAMERA WALL MOUNTED	2	1
AVMCB	AUDIO VISUAL - MICROPHONE BENCH MOUNTED	2	1
BRKT3	BRACKET - SUCTION BOTTLE BRACKET	2	1
DISAD	Dispenser - Antiseptic	2	1

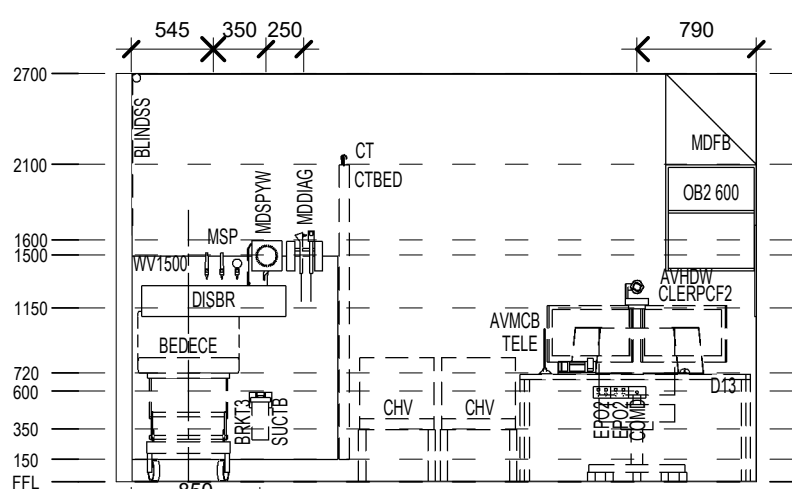
RLS Item List -1.03.01.011 - CONSULT 2			
Item Code	Description	Group	Count
DISAHR	DISPENSER - ALCOHOL BASED HAND RUB	2	1
DISBR	Dispenser - Bed Roll	2	1
DISGD	DISPENSER - GLOVE - 4 SIZES	2	1
DISPD	DISPENSER - PAPER TOWEL	2	1
DISSD	DISPENSER - SOAP	2	1
MDDIAG	DIAGNOSTIC EQUIPMENT - DIAGNOSTIC DISPENSER SET	2	1
MDSPYW	DIAGNOSTIC EQUIPMENT - SPHYGMOMANOMETER (WALL MOUNTED)	2	1
NOSCHED	DIAGNOSTIC SET	2	1
AFLOW	AIR FLOWMETER	3	1
BEDECE	BED - EXAMINATION COUCH ELECTRIC	3	1
BINSS	BIN - SHARPS DISPOSAL SMALL, WALL MOUNTED	3	1
BINW40	Bin - Waste 40 Litre	3	1
CHSC	CHAIR - STAFF CLERICAL ERGONOMIC MEDIUM BACK	3	1
CHV	CHAIR - VISITOR	3	2
CLERPCF2	CLERICAL - 2No. FLAT SCREENS AND PC	3	1
CTBED	CURTAIN - BEDSCREEN	3	1
D13	DESK - STANDARD, 1500 X 750	3	1
OFLOW	OXYGEN FLOWMETER	3	1
SUCTB	SUCTION BOTTLE	3	1
SUCTR	SUCTION REGULATOR	3	1
TELE	TELEPHONE HANDSET - STANDARD	3	1

FLOOR PLAN

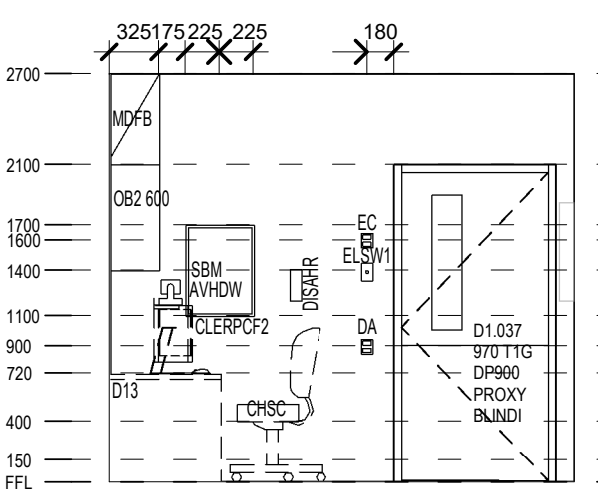
REFLECTED CEILING PLAN



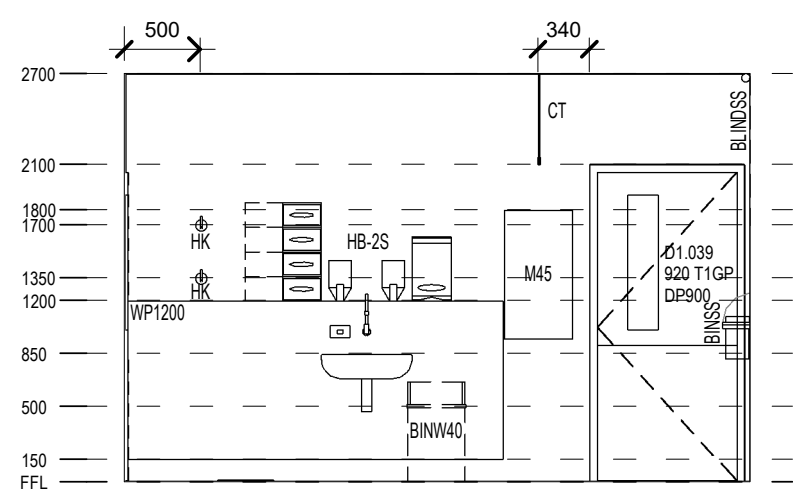
A 50 - CONSULT 2
61-S1



B 50 - CONSULT 2
61-S1



C 50 - CONSULT 2
61-V1-01



D 50 - CONSULT 2
61-S1

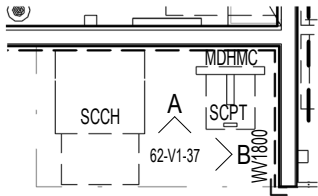
REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022

DIMENSIONS
USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.
COPYRIGHT
ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.
ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES

ARCHITECTS
STH
ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT
NSW Health Infrastructure
PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580
ISSUED FOR INFORMATION

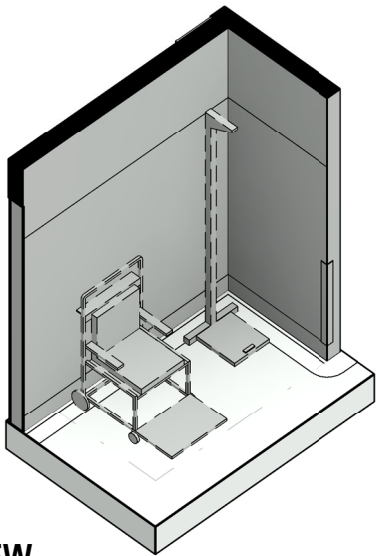
DRAWING TITLE
CONSULT ROOM
SCALE 1 : 50@A3 DATE 05/17/22 DRAWN BY YX CHECKED CS
PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-36 REVISION B



FLOOR PLAN



REFLECTED CEILING PLAN



3D VIEW

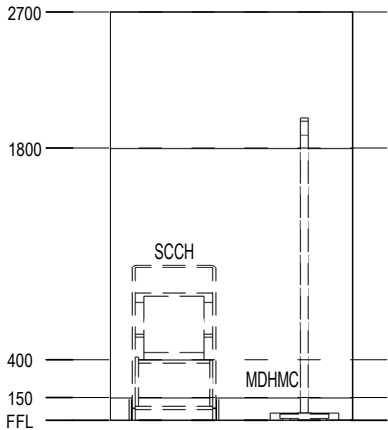
RLS Item List - 70 - BAY-HEIGHT/WEIGHT			
Item Code	Description	Group	Count
MDHMC	Medical Diagnostic Equipment - Height Measure Chart	1	1
SCCH	SCALES - CHAIR	3	1
SCPT	Scale - Patient	3	1

SERVICES LEGEND

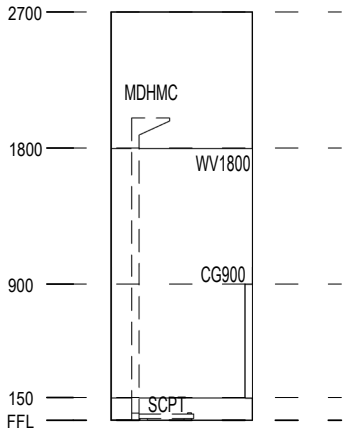
- TO BE READ IN CONJUNCTION WITH RELEVANT SERVICES DOCUMENTATION

- GENERAL POWER OUTLETS
- DATA OUTLETS

NOTE:
) EACH WORKSTATION TO HAVE 3 x DOUBLE GPO AND 1 x DOUBLE DATA, TYP.
) FOR EXACT NUMBER OF GPO AND DATA REFER TO ELECTRICAL DRAWINGS. REFER TO KIT OF PARTS AND AUSHFG FOR THE HEIGHT.
) MINIMUM REQUIREMENTS FROM AUS HFG NEED TO BE ACHIEVED FOR ALL SERVICES.
) REFER TO RELEVANT SERVICES DOCUMENTATION LEGEND FOR ITEMS SHOWN ON RCP.
) REFER TO SERVICES DOCUMENTATION FOR LOCATIONS AND DETAILS OF MEDICAL SERVICE PANELS.
) FFE GROUP CLASSIFICATION IS INDICATIVE AND REVIEWED DURING THE NEXT PHASE.



A 70 - BAY-HEIGHT/WEIGHT
61-V1-01



B 70 - BAY-HEIGHT/WEIGHT
61-V1-01

REV	DESCRIPTION	DRN	DATE	DIMENSIONS	ARCHITECTS	CLIENT	DRAWING TITLE
A	ISSUED FOR FINAL REVIEW	DP	27/05/2022	USE FIGURED DIMENSIONS. DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWING WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.	STH	NSW GOVERNMENT Health Infrastructure	BAY-HEIGHT/WEIGHT
				COPYRIGHT ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.	ABN: 21 134 476 065 PELACO COMPLEX, BUILDING 3, LEVEL 2 21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA PH: (03) 9885 2333 FAX: (03) 9885 2455	PROJECT Goulburn Hospital Final Works 130 Goldsmith St, Goulburn NSW 2580	SCALE 1 : 50@A3 DATE 05/27/22 DRAWN BY YX CHECKED DP
				ALSO REFER TO STH STANDARD SERVICE POINTS DISCLAIMER AND FF&E SPECIFICATION NOTES	THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	ISSUED FOR INFORMATION	PROJECT No 10516 DRAWING No 18483-STH-AR-DWG-62-V1-37 REVISION A

THE A63 SERIES DRAWINGS TYPICALLY DOCUMENT FEATURE FINISHES & MUST BE READ IN CONJUNCTION WITH THE A22/A62 SERIES DRAWINGS FOR FULL EXTENT OF APPLIED FINISHES.
REFER TO A80-A83 INTERIOR MATERIALS LEGEND FOR COLOUR & TYPE.
REFER TO A80-A83 FOR ART WORK
REFER AT ALL TIMES TO SPECIFICATION

FLOORING:
WHERE FLOOR VINYL SELECTIONS OCCUR ON PLAN, ALIGNMENTS OF SEAMS AND/OR MATERIAL TRANSITIONS ARE TO ALLOW VINEAREST ARCHITECTURAL JUNCTION, I.E. COLUMN CORNER, WALL PARTITION CORNER, ANGLED WALL, BULKHEADS OVER, ETC. UNLESS NOTED OTHERWISE.

SKIRTING:
SKIRTING THROUGHOUT TO BE 150MM HIGH UNLESS NOTED OTHERWISE

CAULKING:
FEATURE WALLS (PAINTED/ACRYLIC OR THE LIKE) TO HAVE MATCHING COLOUR CAULKING.

PAINTING:
ALL INTERNAL PLASTERBOARD WALLS INCLUDING MOISTURE RESISTANT PLASTERBOARD WALLS TO BE PAINT **PA01** UNLESS NOTED OTHERWISE.
ALL WALL MOUNTED FITMENTS INCLUDING: THERMOSTATIC MIXING VALVE COVER BOXES (TMS), REDUCED PRESSURE ZONE DEVICE COVER PLATES (RPZD), AND WALL ACCESS PANELS TO BE POWDERCOATED TO MATCH **PA03** WHERE POSSIBLE. FITMENTS AT FEATURE WALLS ARE TO MATCH THE FEATURE WALL FINISH. REFER TO THE DRAWINGS FOR AREAS RECEIVING FEATURE COLOURS.
ALL CEILINGS TO BE **PA03** AND ALL BULKHEADS TO BE PAINTED **PA01** FINISH UNLESS NOTED OTHERWISE.
ALL CEILING FITMENTS REQUIRING POWDERCOATING: SPRINKLER HEADS, ESQUIRE/CHOW PLATES, ACCESS PANELS, GRILLES ETC ARE TO BE POWDERCOATED WHITE TO MATCH. WHERE POSSIBLE, FITMENTS AT FEATURE CEILINGS ARE TO MATCH THE FEATURE CEILING FINISH. REFER TO THE DRAWINGS FOR AREAS RECEIVING FEATURE COLOURS.
DISTRIBUTION BOARD CABINETS TO BE POWDERCOATED STANDARD WHITE.

APPLIED SURFACE PROTECTION:
UNLESS OTHERWISE NOTED, ALL WALL PROTECTION TO BE **WP01**. ALL CORNER GUARD PROTECTION TO BE **CG01**. ALL WALL VINYL TO BE **WV01**. REFER TO A62 SERIES DRAWINGS FOR FULL EXTENT OF APPLIED SURFACE PROTECTION.

DOOR, DOOR FRAME AND WINDOW FRAME FINISHES:

ALL TIMBER DOORS WITHOUT DOOR PROTECTION TO BE PAINTED **PA02** UNLESS OTHERWISE NOTED.
ALL DOOR PROTECTION TO BE **DP01** UNLESS OTHERWISE NOTED. REFER DOOR SCHEDULE FOR UP LOCATIONS.
REFER TO DOOR SCHEDULE FOR FRAME TYPE.
REFER TO WINDOW SCHEDULE FOR FRAME TYPE.

FILM TO GLAZING:
FILM TO GLAZING PARTITIONS, DOORS AND WINDOWS AS INDICATED.
SAFETY DECAL TO BE APPLIED TO ALL FULL HEIGHT GLAZING (OR GLASS WHERE SILL BELOW 600MM) WHERE FILM NOT NOMINATED.

LEGEND

- CPT01 NEW CARPET
- EXISTING CARPET FLOOR
- FR02 NEW VINYL FLOOR
- FR07 NEW VINYL FLOOR (ASSUME IF NOT TAGGED OM PLANS) ALLOW TO BE INSTALLED TO PERIMETER OF FEATURE INSERTS IF NOT TAGGED. ALLOW TO COVE UP WALL.
- FR08 TIMBER LOOK VINYL FLOOR AS SPECIFIED ALLOW TO RADIUS CORNERS, FR07 TO PERIMETER UNLESS OTHER WISE SPECIFIED. ALLOW FOR 150mm OFFSET TO INSERT AS TYPICAL

FLOOR FINISH TAG

Room Name → Reception
Room Number → 01
Floor Finish → CPT01
Skirting Type → SKA
Finish Scheme → 1.01

WALL FINISHES

FEATURE WALL FINISH TYPES

FWV OR FWP - WALL VINYL OR WALL PROTECTION/TECTION

AFG - APPLIED FILM TO GLAZING

AFW - APPLIED FILM TO WALL

NOTE: REFER TO A61 FITOUT PLANS & A65 INTERNAL ELEVATIONS FOR SETOUTS & HEIGHTS. FOR EXAMPLE:

WV1600 = WALL VINYL TO 1600MM AFFL

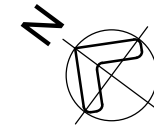
WVFH = WALL VINYL FULL HEIGHT

FEATURE WALL FINISH TAG

XXXX01
FEATURE WALL FINISH TAG



KEY PLAN



REV	DESCRIPTION	DRN	DATE
A	ISSUED FOR FINAL REVIEW	DP	20/05/2022
B	ISSUED FOR FINAL REVIEW	DP	27/05/2022

COPYRIGHT

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC OR MECHANICAL INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THE DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT WITH THE PRINCIPAL UNDER THE TERMS OF THE CONTRACT.

DIMENSIONS

USE FIGURED DIMENSIONS, DO NOT SCALE. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS WHICH MUST BE SUBMITTED AND REVIEWED BEFORE MANUFACTURE.

FIXTURES, FITTINGS & EQUIPMENT SPECIFICATIONS

SUBSTITUTE FF&E EQUIPMENT SPECIFICATIONS
THE FIT-OUT DESIGN AND DOCUMENTATION HAS BEEN COMPLETED ON THE BASIS OF FF&E AND EQUIPMENT ADVISED TO THIS OFFICE AT THE TIME OF BRIEFING THE DESIGN. THE DESIGN PROVISIONS FOR FF&E AND EQUIPMENT INCORPORATES SPATIAL ALLOCATIONS, SERVICING, LOADING AND ACCESS CLEARANCES AND WHERE APPROPRIATE SERVICES REQUIREMENTS, HAVING DUE REGARD FOR SURROUNDING FIXTURES AND FITTINGS. IT SHOULD BE NOTED THAT SUBSTITUTE FF&E OR EQUIPMENT WITH ALTERNATE SPECIFICATIONS SHOULD NOT BE PROCURED PRIOR TO VALIDATING THOSE SPECIFICATIONS AGAINST THE ITEM CONTROL SCHEDULE AND DESIGN PROVISIONS IN THE MODEL. THIS OFFICE ACCEPTS NO RESPONSIBILITY FOR THE PROCUREMENT OF SUBSTITUTE FF&E AND EQUIPMENT WHICH HAS NOT BEEN REVIEWED AND VALIDATED AGAINST THE ORIGINAL DESIGN PROVISIONS.

SERVICE POINTS DISCLAIMER

THE SERVICE POINTS IDENTIFIED ON THESE DRAWINGS HAVE BEEN OVERLAYED FROM THE BUILDING SERVICES ENGINEERING MODEL, AND ARE PROVIDED FOR INFORMATION AND SET-OUT PURPOSES ONLY. WE HAVE BEEN ADVISED BY THE SERVICES ENGINEERS THAT THE POINTS REPRESENTED ON THESE DRAWINGS ARE CORRECT AT THE TIME OF PUBLICATION. THIS OFFICE DOES NOT WARRANT THE ACCURACY OF THIS DATA. REFER TO THE BUILDING SERVICES ENGINEERING DOCUMENTATION FOR THE INSTALLATION OF THE SERVICES POINTS, AND THE INTERFACE BETWEEN THE SERVICES POINTS AND THE RESPECTIVE ENGINEERING SYSTEMS.

ISSUED FOR INFORMATION

ARCHITECTS



ABN: 21 134 476 065
PELACO COMPLEX, BUILDING 3, LEVEL 2
21-31 GOODWOOD ST, RICHMOND VIC 3121, AUSTRALIA
PH: (03) 9885 2333 FAX: (03) 9885 2455
THIS ARCHITECTURAL DESIGN IS THE COPYRIGHT OF
SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 065
AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

CLIENT



PROJECT MANAGER

ROOT PARTNERSHIPS
Advisory+
Project Management

Level 19, 9 Hunter Street,
Sydney NSW 2000

PH: (02) 8272 9300

PROJECT

Goulburn Hospital Final Works
130 Goldsmith St, Goulburn NSW 2580

DRAWING TITLE

ONCOLOGY - FLOOR FINISHES PLAN

SCALE DATE DRAWN BY CHECKED

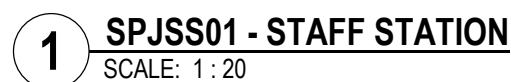
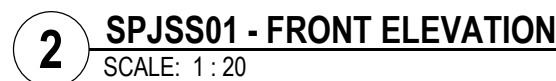
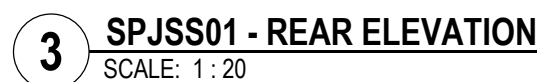
As indicated@A1 03/18/22 JE MF

PROJECT No DRAWING No REVISION

10516 18483-STH-AR-DWG-63-V1-01 B

1 ONCOLOGY - FLOOR FINISHES PLAN

SCALE: 1:50



- ALL CARCASSES SHALL BE MELAMINE WHITE.
- FINISH ALL EXPOSED EDGES OF ALL LAMINATE FACED AND MELAMINE FACED PANELS, DOORS, DIVIDE, SHELVES, ETC. WITH 2MM PVC EDGINGS OF MATCHING COLOUR UNLESS NOTED OTHERWISE.
- ALL LAMINATES TO BE GRAIN MATCHED FOR DIRECTION OF LAY UP
- ALL SCORIES SHALL BE MAXIMUM 18mm wide AND PRE-FINISHED TO MATCH ADJACENT SURFACE. SCRIBE/FILLET AT SIDE PANEL TO ALL BUILT IN LAMINATED UNITS
- FOR JOINERY/CASEWORK HARDWARE REFER GENERAL NOTES OF JOINERY DRAWINGS SERIES AND FF&E SCHEDULE
- ALL END PANEL, FINISHES SHALL MATCH ADJACENT JOINERY U.N.O
- JOINER TO PROVIDE CUTOUTS IN CARCASS AS REQUIRED TO ALLOW FOR CABLE ACCESS FITTINGS ETC.

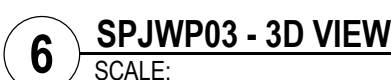
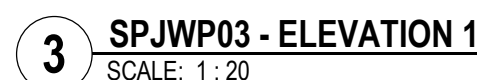
SERVICE POINTS DISCLAIMER

THE SERVICE POINTS IDENTIFIED ON THESE DRAWINGS HAVE BEEN OVERLAYED FROM THE BUILDING SERVICES ENGINEERING MODEL, AND ARE PROVIDED FOR INFORMATION AND SET-OUT PURPOSES ONLY. WE HAVE BEEN ADVISED BY THE SERVICES ENGINEERS THAT THE POINTS REPRESENTED ON THESE DRAWINGS ARE CORRECT AT THE TIME OF PUBLICATION. THIS OFFICE DOES NOT WARRANT THE ACCURACY OF THIS DATA. REFER TO THE BUILDING SERVICES ENGINEERING DOCUMENTATION FOR THE INSTALLATION OF THE SERVICE POINTS, AND THE INTERFACE BETWEEN THE SERVICE POINTS AND THE RESPECTIVE ENGINEERING SYSTEMS.

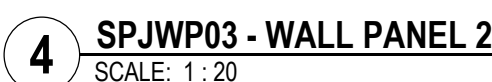
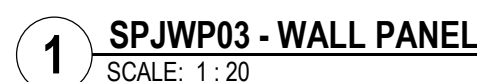
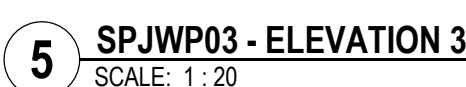
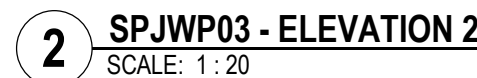
PROJECT No. 10516 DRAWING No. 18483-STH-AR-DWG-71-V1-01 REVISION

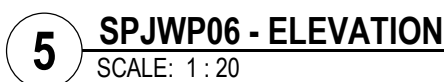
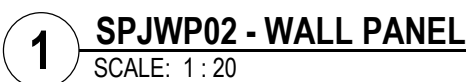
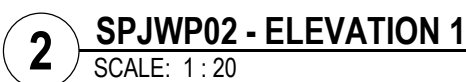


CONCEPT RENDERS TO SHOW DESIGN INTENT REFERENCE ONLY



- ALL CARCASSES SHALL BE MELAMINE WHITE.
- FINISH ALL EXPOSED EDGES OF ALL LAMINATE FACED AND MELAMINE FACED PANELS, DOORS, DIVISIONS, SHELVES, ETC. WITH 2mm PVC EDGING OF MATCHING COLOUR UNLESS NOTED OTHERWISE.
- ALL LAMINATES TO BE GRAIN MATCHED FOR DIRECTION OF LAY UP
- ALL SCRIBES SHALL BE MAXIMUM 18mm wide AND PRE-FINISHED TO MATCH ADJACENT SURFACE. SCRIBE/ FILET AT SIDE PANEL TO ALL BUILT IN LAMINATED UNITS
- FOR JOINERY/ CASEWORK HARDWARE REFER GENERAL NOTES OF JOINERY DRAWING SERIES AND OF THE SITE
- JOINERY AND PANEL FINISHES SHALL MATCH ADJACENT JOINERY, U.N.O.
- JOINER TO PROVIDE CUTOUTS IN CARCASS AS REQUIRED TO ALLOW FOR CABLE ACCESS FITTINGS ETC.



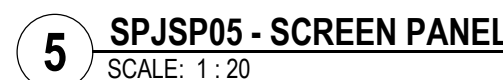
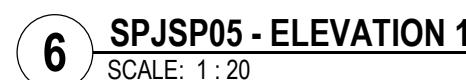
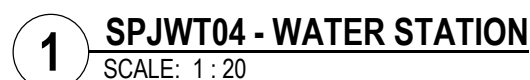
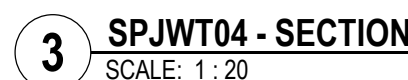
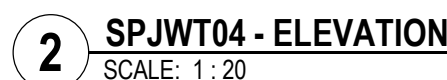


- ALL CARCASSES SHALL BE MELAMINE WHITE.
- FINISH ALL EXPOSED EDGES OF ALL LAMINATE FACED AND MELAMINE FACED PANELS, DOORS, DIVIDERS, ETC. ETC. WITH 2mm PVC EDGING OF MATCHING COLOUR UNLESS NOTED OTHERWISE.
- ALL LAMINATES TO BE GRAM MATCHED FOR DIRECTION OF LAY UP
- ALL SCREWS SHALL BE MAXIMUM 16mm wide AND PRE-FINISHED TO MATCH ADJACENT SURFACE. SCREWS FILED AT SIDE PANEL, TO ALL BUILT IN LAMINATED UNITS
- FOR JOINTERY CASEWORK HARDWARE REFER GENERAL NOTES OF JOINTERY DRAWING SERIES AND F&E SCHEDULE
- ALL END PANEL FINISHES SHALL MATCH ADJACENT JOINTERY U.N.O.
- JOINER TO PROVIDE CUTJOINS IN CARCASS AS REQUIRED TO ALLOW FOR CABLE ACCESS FITTINGS ETC.

SCALE	DATE	DRAWN BY	CHECKED
As indicated@A1	05/13/22	JE	MF
PROJECT No	DRAWING No	REVISION	
10516	18483-STH-AR-DWG-71-V1-03	B	



CONCEPT RENDERS TO SHOW DESIGN INTENT REFERENCE ONLY

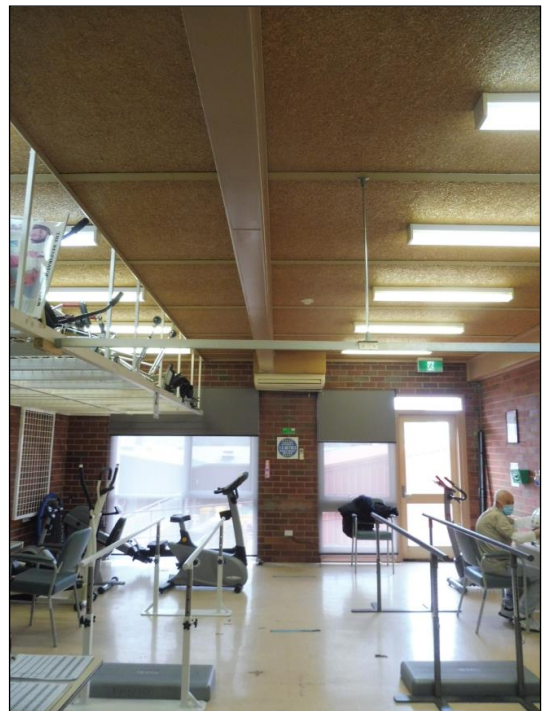


- * ALL CARCASSES SHALL BE MELAMINE WHITE.
- * FINISH ALL EXPOSED EDGES OF ALL LAMINATE FACED AND MELAMINE FACED PANELS, DOORS, DIVIDERS, SHELVES, ETC. WITH 2mm PVC EDGINGS OF MATCHING COLOR, UNLESS NOTED OTHERWISE.
- * ALL LAMINATES TO BE GRAM MATCHED FOR DIRECTION OF LAY UP
- * ALL SCREWS SHALL BE MAXIMUM 18mm wide AND PRE-FINISHED TO MATCH ADJACENT SURFACE. SCREWS FILLET AT SIDE PANELS, TO ALL BUILT IN LAMINATED UNITS.
- * FOR JOINEY/CASEWORK HARDWARE REFER GENERAL NOTES OF JOINEY DRAWING SERIES AND FF&E SCHEDULE
- * ALL END PANEL FINISHES SHALL MATCH ADJACENT JOINEY, U.N.O.
- * JOINER TO PROVIDE CUTOUTS IN CARCASS AS REQUIRED TO ALLOW FOR CABLE ACCESS FITTINGS ETC.



SCALE	DATE	DRAWN BY	CHECKED
As indicated@A1	05/11/22	JE	MF
PROJECT No	DRAWING No	REVISION	
10516	18483-STH-AR-DWG-71-V1-04		

STATEMENT OF HERITAGE IMPACT



Proposed Aboriginal Health & Oncology Unit Goulburn Base Hospital

September 2022

Table of Contents

1.0	Introduction	3
1.1	Context of the report	3
1.2	Background, heritage listing status & objectives of the report	3
1.3	Site identification.....	4
2.0	Historical summary	5
2.1	Early development of Goulburn.....	5
2.2	Early development of the site.....	6
2.3	Development of the Hospital and site, 1900-1950s	7
2.4	Major additions and changes, 1960s to the present	11
3.0	The existing buildings and context.....	13
3.1	The context.....	13
3.2	The proposed Aboriginal Health Centre	15
3.3	Proposed Oncology Unit (Physiotherapy and Occupational Therapy)	22
3.5	Summary analysis of the site and buildings	27
4.0	Assessment of Significance	29
4.1	Assessed significance.....	29
4.2	Grading of Significance.....	30
5.0	Description of the proposal	33
6.0	Assessment of Heritage Impact	35
6.1	Goulburn Mulwaree Local Environmental Plan 2009 & DCP 2009	35
6.2	Heritage NSW criteria	38
6.3	Conclusion and recommendations	39

1.0 Introduction

1.1 Context of the report

This report has been prepared on behalf of Health Infrastructure to assess the potential heritage impacts and accompany the current Review of Environmental Factors (REF) in relation to the proposed new Aboriginal Health and Oncology Units at Goulburn Base Hospital located at No. 130 Goldsmith Street, Goulburn (the site).

1.2 Background, heritage listing status & objectives of the report

Goulburn Base Hospital (GBH) is currently undergoing a major redevelopment. Planning commenced in 2015. The preparation of a Preliminary Business Case and Master Plan which outlined the service priorities, key challenges, objectives and a number of options for redevelopment also included a Heritage Assessment of the site, buildings and elements.

The resulting new Acute Services Building and associated works on the eastern side of the Hospital site are now nearing completion and planned works for other improvements and relocation of services are progressing.

It is currently proposed to provide a new Aboriginal Health Centre in the existing single storey, northern wing of the western Hospital pavilion which faces and has direct access from the Goldsmith Street frontage.

It is also proposed to convert the existing modern, Physiotherapy and Occupational Therapy addition to Jennings House (Renal Unit), located to the south of the historic Hospital pavilions, into the new Oncology Unit.

Goulburn Base Hospital occupies a city block bounded by Goldsmith, Albert, Clifford and Faithfull Streets located to the north west of the Goulburn CBD. Goulburn High School also addresses Goldsmith Street and is located to the immediate west of the site. Victoria Park incorporating the Goulburn Aquatic & Leisure Centre and Oval is located to the south of the site on the southern side of Clifford Street. The surrounding area is otherwise largely characterised by one and two storey residential buildings with a large proportion dating from the early to mid 20th century. The built context is generally enhanced by the wide streets, street trees and gardens.

Goulburn Base Hospital is not listed on the State Heritage Register, however, the Central Building and original 1887 Pavilions have been listed on the Department of Health S170 Register and have been recognised by the National Trust of Australia (NSW). The Central Building and former Pavilions have also been listed as a local item under Schedule 5 of the Goulburn Mulwaree Local Environmental Plan 2009 (L181). The site is also located in the Goulburn Residential Conservation Area (West area).

As such, any proposed works must consider any potential impacts on the cultural significance of the site, primary buildings and elements and their setting, surrounding streetscapes and conservation area context.

This report is based on an inspection of the areas affected, review of the context and details provided by the project team. This report refers to the outline history, descriptions and findings of the Heritage Assessment prepared by our office (PMA, dated February 2016) and Statement of Heritage Impact reports prepared since that time in relation to the new Acute Services Building and associated works on the eastern side of the Hospital site and to the south of the historic pavilions.

This report follows the standard format, in accordance with the guidelines provided by Heritage NSW and includes site specific information, description of the affected areas and buildings, assessed significance and their contribution to the Hospital and area. The proposed works have been assessed with reference to Goulburn Mulwaree Council planning documents and standard criteria.

The purpose of the report is to outline the appropriateness of the proposed works and how any potential heritage impacts may be reduced or are mitigated.

1.3 Site identification

Goulburn Base Hospital occupies the block also bounded by Albert, Clifford and Faithfull Streets. The site is located approximately 1km from the Goulburn CBD which is generally concentrated about Auburn Street. The real property description of the site is Lot 1 DP 133606 and Lots 1-10 Section 46, DP 758468.



Figure 1.1 Location plan.



Figure 1.2 Aerial photograph showing the location of the proposed Aboriginal Health and new Oncology Unit.

(Google Maps)

2.0 Historical summary

2.1 Early development of Goulburn

Two major language groups were identified within the Goulburn Mulwaree region at the time of European contact; the Gandangara to the north of Goulburn and the Ngunnawal to the south. It is likely that these tribal boundaries incorporated a number of distinct aboriginal communities with their own dialects, who were probably linked by kinship networks, common beliefs, ceremonies and customs.¹

European settlement followed the explorations of Hume and Meehan, Throsby and Oxley. Goulburn was named by surveyor James Meehan who in 1816 accompanied explorer Hamilton Hume in some explorations in southern New South Wales. He was appointed deputy surveyor-general in 1818 and around this time named the city after Henry Goulburn, Under-Secretary for War and the Colonies. The discovery of the “Goulburn Plains” and Lake Bathurst led to an influx of adventurers and land seekers. Land grants were made from about 1820. A town was originally surveyed in 1828, however, moved to its present site in 1833 when the town was laid out by Robert Hoddle, creator of the “Hoddle Grid”. A Parish plan (**Figure 2.1**) clearly shows Hoddle’s trademark grid with surrounding land grants and purchases.²

The township quickly grew and became the administrative and judicial centre of Argyle County which covered most of south western NSW. It was located at a strategic “crossroads” and service industries including hotels, retailing, blacksmiths, brewers and millers flourished. By 1841 Goulburn had a population of about 1,200 and was the centre of a great sheep and farming area, boasting a courthouse, police barracks, churches, post office and a hospital. The town was a change station for the Cobb & Co by 1855 and a police station and school were opened by 1858. A telegraph station also opened in about 1862. Goulburn was proclaimed a municipal government in 1859 and was made a city in 1865, by which time there were approximately 1,500 residents.³

The discovery of gold in part of the County in the 1850s resulted in the the naming of the Goulburn as the first “inland” city. With the arrival of the railway in 1869 and its expansion in the 1880s it became a major agricultural and railway centre.

The city continued to develop with a number of major buildings designed by prominent architects adding to the townscape. Architect EC Manfred developed his architectural skills in Sydney prior to settling in Goulburn in 1879 and setting up practice in 1880. By 1882 he had taken over the important role of Clerk of Works to supervise the building of St Saviour’s. Manfred went on the design the old Town Hall; the old Fire Station; the Masonic Temples; the first permanent fire station and St John’s Orphanage in the period between 1888 and 1928. In addition to these major works he also designed a number of commercial buildings, homes and villas and the Pavilion Hospital buildings on Goldsmith Street.⁴

For most of the 20th century Goulburn existed on the back of the agricultural and railway industries. The Big Merino, located to the west of the town is testament to its agricultural importance and role in the wool industry. Being on the main inland highway the city developed transitory industries, however, these all were affected by the Freeway by-pass constructed in the 1980s. Whilst the by-pass and economic rationalism has also resulted in the departure of many of the industries that once serviced the city, Goulburn retains much of its unique heritage and has continuing life as a district centre in the 21st century.⁵

¹ Goulburn Mulwaree Council website.

² www.argylecounty.com.au – Goulburn Brief History, & NSW Land Registry Services, Historical Parish Map of Goulburn.

³ www.argylecounty.com.au – Goulburn Brief History, Goulburn Mulwaree Council website.

⁴ Goulburn Mulwaree Council website & Penalver, D. *EC Manfred – Architect and Surveyor, Goulburn* (2013), p. 4.

⁵ www.argylecounty.com.au – Goulburn Brief History.

2.2 Early development of the site

The Hospital site occupies Section 46 of the City of Goulburn (**Figure 2.1**) that was granted to Hospital trustees following two separate applications. An area of 5 acres, with frontage to Goldsmith and Clifford Streets and extending along Coromandel (now Albert) Street was initially granted for a Public Hospital in December 1884. Several years later, in c. 1887, the Trustees applied for a further grant (the remainder of the block) to permit the erection of a separate building for the treatment of cases of fever and contagious diseases. In June 1889 an area of just over 4 acres with frontage along Goldsmith, Faithfull and Clifford Streets, was vested with the Trustees and dedicated for hospital purposes.⁶

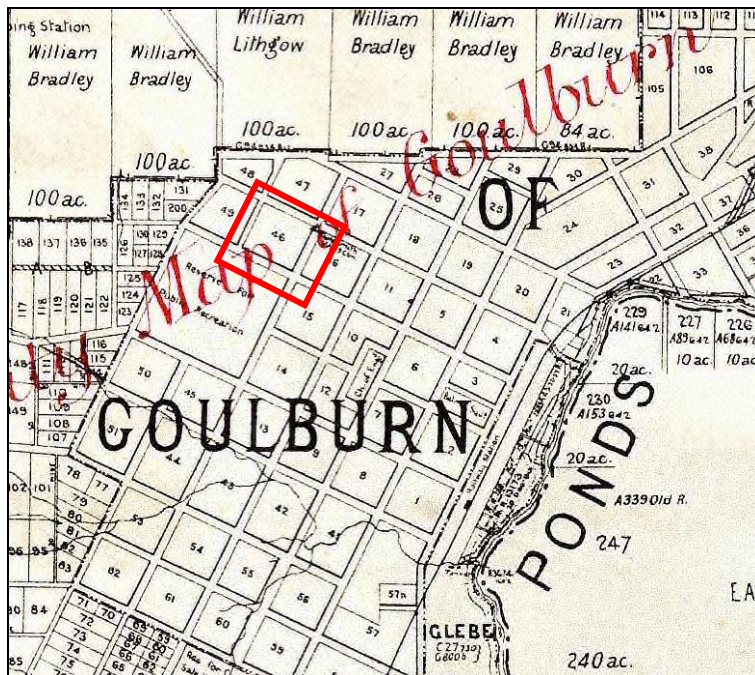


Figure 2.1 Parish Plan showing the grid layout of the City of Goulburn surrounded by larger acreage lots and grants.

The Hospital site occupies Section 46 which was granted as two parcels.

(Source: Department of Lands Historical Parish Map Goulburn Sheet 3 Ed. 4, 1902)

2.2.1 Construction of the Hospital, 1887-1889

The current Hospital is the third general Hospital to be constructed in Goulburn. Goulburn's first hospital was a temporary timber building constructed in the 1830s that was replaced with a new building in 1848. Manfred designed the fever ward, however, by the 1880s it was clear that the site on the corner of Sloane and Clifford Streets could not continue to cater for the needs of the area. In 1883 permission was sought to sell the old hospital site and use the proceeds to acquire land and build a new hospital.⁷

In 1885 a prize of £50 was offered for a suitable hospital design. The budget was set at £6,000. As no suitable designs were entered, in 1886 the Hospital Committee decided to commission local architect, EC Manfred.

Manfred produced a number of options. The building was planned on the pavilion system and allowed for a staged construction. Tenders were invited for the new Hospital in May 1887. The tender submitted by Charles Goode and Sons was accepted in August of the same year. The foundation stone was laid on 9th December 1887, by Lord Carrington.

⁶ Trove, *Goulburn Herald*, "The Goulburn Hospital", Saturday 12 October 1889, p. 4, *Sydney Morning Herald*, "Opening of the Goulburn Hospital", Saturday 12 October 1889, p. 12, *The Sydney Mail & NSW Advertiser*, Saturday 25 February 1888, p. 413 & NSW Land Registry Services, Certificate of Title, Volume 729 Folio 209. Trove, *Goulburn Herald*, "The Goulburn Hospital", Saturday 12 October 1889, p. 4 & NSW Land Registry Services, Certificate of Title, Volume 2143 Folio 196.

⁷ Tazewell, S.J., *Grand Goulburn, First Inland City of Australia A Random History*, (1991), p. 47 & Goulburn Local Studies, Vertical file, Goulburn Base Hospital, *Hospital site now city police station*, Goulburn Evening Penny Post, 9 Dec 1887.

The building was officially opened on 11th October 1889 by Mayor, HS Gannon. At the time of the official opening only the central administrative and the eastern pavilion had been built. It is not clear when the western pavilion was constructed, one source notes 1890⁸, however, what is assumed to be early photograph of the building (**Figure 2.2**) shows the central pavilion framed by two similarly detailed, two storey pavilions with single storey connections and projections. The two pavilions provided separate male and female wards each side of the main, central administration block. A circular driveway is also clear with timber fences.



Figure 2.2 Undated, early photograph showing the completed building. (Goulburn & District Historical Society Inc, Goulburn Hospital 2)

2.3 Development of the Hospital and site, 1900-1950s

Several improvements were made in the early 1900s, most were also designed by Manfred and his son who also practiced as an architect. In 1905 a new laundry block was constructed and verandahs and balconies were added to the western and eastern pavilions in c. 1914.⁹ The verandah to the eastern pavilion has subsequently been extended and modified and upper balcony has been infilled, however, remains visible on the eastern side of the eastern pavilion today.

In 1915 proposed additions to the Nurses' Quarters and a separate Pathology Block, with laboratory and mortuary were constructed.¹⁰ Electric lights were installed in 1917 and in 1919 new single storey wing with operating facilities was also added.¹¹ Further extensions were carried out in the 1920s and X-ray plant was installed in 1928.¹² In June 1927 plans and specifications for a separate nurses' home and the construction of a new building began in the same year.

⁸ Penalver, D., Penalver D., Cooper, L., *EC Manfred – Architect and Surveyor, Goulburn* (2013), p. 4 & Goulburn Local Studies, Vertical file, Goulburn Base Hospital, *Hospital site now city police station*, Goulburn Evening Penny Post, 9 Dec 1987. Trove, *Goulburn Herald*, "The Goulburn Hospital", Saturday 12 October 1889, p. 4.

Trove, *Goulburn Evening Penny Post*, "Goulburn Hospital Building Fund Appeal", Saturday 17 May 1924, p. 6.

⁹ Goulburn & District Historical Society Inc. IMG 2328 (1) & Goulburn Base Hospital and EC Manfred files and database.

¹⁰ Goulburn & District Historical Society Inc. IMG 2324-001 & Goulburn Base Hospital and EC Manfred files and database.

¹¹ Tazewell, S.J., *Grand Goulburn, First Inland City of Australia A Random History*, (1991), p. 49.

¹² Goulburn Local Studies, Vertical file, Goulburn Base Hospital, *Hospital site now city police station*, Goulburn Evening Penny Post, 9 Dec 1987, Wyatt, R.T., *The History of Goulburn* (1972), p. 220 & Tazewell, S.J., *Grand Goulburn, First Inland City of Australia A Random History*, (1991), p. 49.

The building was named “Springfield House” after its benefactor, Miss Florence Faithfull of “Springfield Station” who laid the foundation stone on 22 April 1928 and officially opened the home in October of the same year.¹³

Hospital admissions reached 1000 in 1927. The first block of private wards was constructed in 1933 with the second block following in 1937. This block, now known as “The West Wing” located at the north western corner of the site was completed in 1938 and extended in 1943 to cater for military use. The additions to the northern end of the wing included a curved “solarium” and sitting room for patients.¹⁴

In 1937 Hospital admissions reached 2000 and it became apparent that Springfield House was no longer adequate. By June 1938 tenders had been called for the construction of the much needed new nurses’ home which was also designed by the Government Architects office and was to be constructed immediately behind Springfield House. Construction on the second block, “Lady Grose House” began in 1938.¹⁵

The new quarters were officially opened in May 1939 and was described as an “imposing addition”. However, nurses’ accommodation continued to be a problem. In the 1950s a small addition was constructed at the south western corner of Lady Grose House and by January 1964 tenders had been called for a new two storey addition to connect the two existing nurses’ homes.¹⁶ The George Gerathy Wing, was constructed thereafter. A shift in the training and accommodation of nurses and staff on the site has since occurred. Springfield House was later converted for use as the Community Mental Health Facility. However, the Nurses’ Homes were largely vacant by 2015 and following a review of options and recording were demolished to make way for the new Acute Services Building on the eastern side of the site.

During the 1940s newspaper articles refer to an ongoing debate regarding the classification of the Hospital which continued to grow with numerous additions and upgrades to the main building and temporary additions also constructed. In 1939 a new kiosk was erected due to the efforts of the Ladies Auxiliary. This was later improved and in the early 1940s.¹⁷

The Government Architects Office also produced plans for a new Maternity Ward and separate detached Mortuary in 1946. The Maternity Ward, completed in 1949, was located close to the Albert Street frontage and now has a separate entry facing the street. The separate Mortuary was constructed to its south and is now the Antenatal Clinic).¹⁸

In 1951 the Hospital was finally officially gazetted as a “base” hospital, the sixth in NSW. The term is derived from military use. After World War I it applied to a large rural, central hospital that could also provide specialist care or follow up care for patients from smaller hospitals. This classification meant that the hospital had a range of facilities and could treat cases, instead of sending patients to Sydney. The construction of the new buildings and installations contributed to meeting the criteria for the classification. Goulburn retains this classification and remains the largest Hospital in the Southern NSW Area Health District.¹⁹

¹³ Trove, *The Sydney Morning Herald*, “Goulburn Hospital”, Thursday 2 June 1927, p. 10, *The Sydney Morning Herald*, “Country News Nurses Home at Goulburn”, Wednesday 24 October 1928, p. 16 & Goulburn Local Studies, Vertical file, Goulburn Base Hospital, *Hospital site now city police station*, Goulburn Evening Penny Post, 9 Dec 1987

¹⁴ Goulburn Local Studies, Vertical file, Goulburn Base Hospital, *Hospital site now city police station*, Goulburn Evening Penny Post, 9 Dec 1987 & Tazewell, S.J., *Grand Goulburn, First Inland City of Australia A Random History*, (1991), p. 49, Plan Services, Office of Finance & Services, PH79/16, PH79/16A & PH79/19.

¹⁵ Wyatt, RT, *The History of Goulburn* (1972), p. 223 & Trove, *The Goulburn Evening Penny Post*, “Nurses’ Home Tenders Called”, Friday 17 June 1938, p. 1 & Trove, *The Goulburn Evening Penny Post*, “Nurses’ Home Second Tender Accepted”, Monday 22 August 1938, p. 1.

¹⁶ Trove, *The Goulburn Evening Penny Post*, “Comfortable Quarters for Nurses”, Friday 21 April 1939, p. 4, *The Canberra Times*, “Nurses’ Home”, Wednesday 29 January 1964, p. 21 & Plan Services, Office of Finance & Services, PH79/78.

¹⁷ Tazewell, S.J., *Grand Goulburn, First Inland City of Australia A Random History*, (1991), p. 50 & Plan Services, Office of Finance & Services, PH79/28 & PH79/29.

¹⁸ Plan Services, Office of Finance & Services, PH79/32, PH79/33 & PH79/42.

¹⁹ Trove, *Goulburn Evening Post*, “Goulburn Base Hospital Now “Official””, Friday 5 October 1951, p. 1, Wikipedia, Goulburn Base Hospital.

The facilities at the Hospital continued to expand and it is in this context that a number of separate, modern buildings were constructed.

The Frederick Jennings Ward (new TB block now the Renal Unit) was opened in February 1956. The Zella Fife School of Nursing followed in September 1956 and the Margaret Tustian Annex opened in May 1959. Also designed by the Government Architects Office these buildings were simply detailed, single storey brick structures with gabled roofs. The Zella Fife building originally had a rectangular shaped footprint. The 1959 annex addition created the existing “L” shaped footprint. The building and associated demountable are proposed to be replaced with a new purpose designed building.²⁰

2.3.1 Development of the western pavilion (and proposed Aboriginal Health Centre)

In the period between 1900 and 1950 a number of changes were undertaken to the western pavilion. A photograph dated 1906 (**Figure 2.3**) clearly shows the one and two storey form of the western pavilion and associated original details. A skillion roofed annex is also clear on the western side of the single storey wing. Undated drawings prepared by Manfred show the proposed addition of a verandah and alteration of an opening on the eastern side of the single storey wing.

The verandah was added in c. 1914 and is shown on a plan dated 1924 (**Figure 2.4**) that also shows the planned alterations and additions to the ground floor. The plan also indicates the planned addition to the north western side of the single storey wing. It would appear that these additions were not carried out, however, the wing was extended and altered sometime between 1924 and 1937.

A plan dated 1937 (**Figure 2.5**) relating to the alterations and additions between the western pavilion and new West Wing, shows the proposed demolition of the western annex (to make room for the proposed faceted sitting room). The plan also shows that the single storey wing had been extended by this time and that the verandah on the eastern side had also been extended. However, the plan indicates that it remained open.

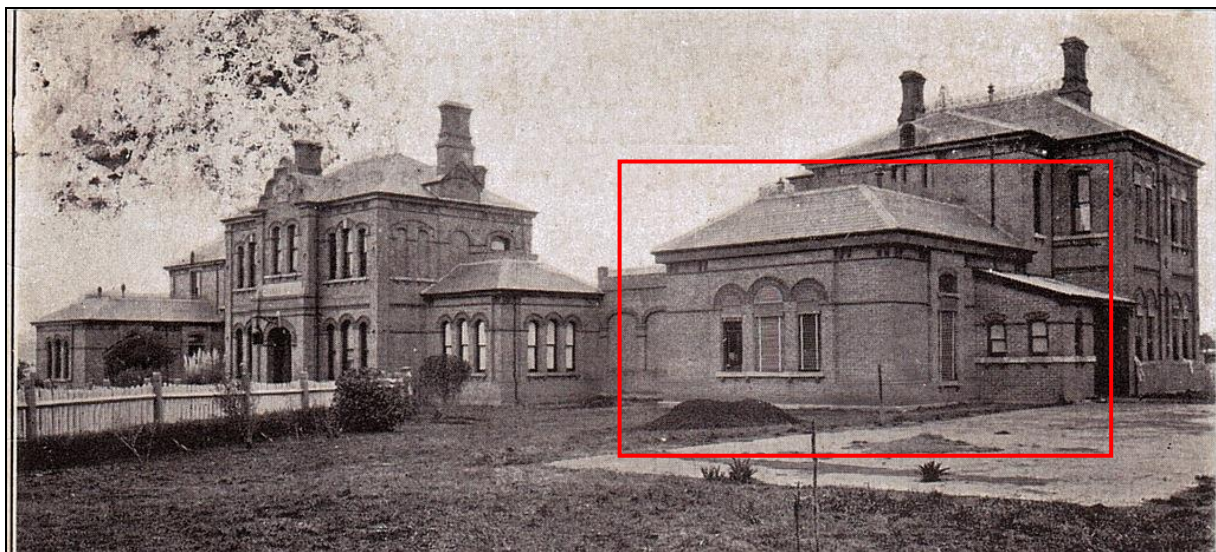


Figure 2.3 Image dated 1906 highlighting the western pavilion and details of the building. The Aboriginal Health Centre is proposed to be located in the single storey northern wing. (Source: Goulburn & District Historical Society Inc, Goulburn Hospital 1)

²⁰ Plan Services, Office of Finance & Services, PH79/74 & PH79/79.

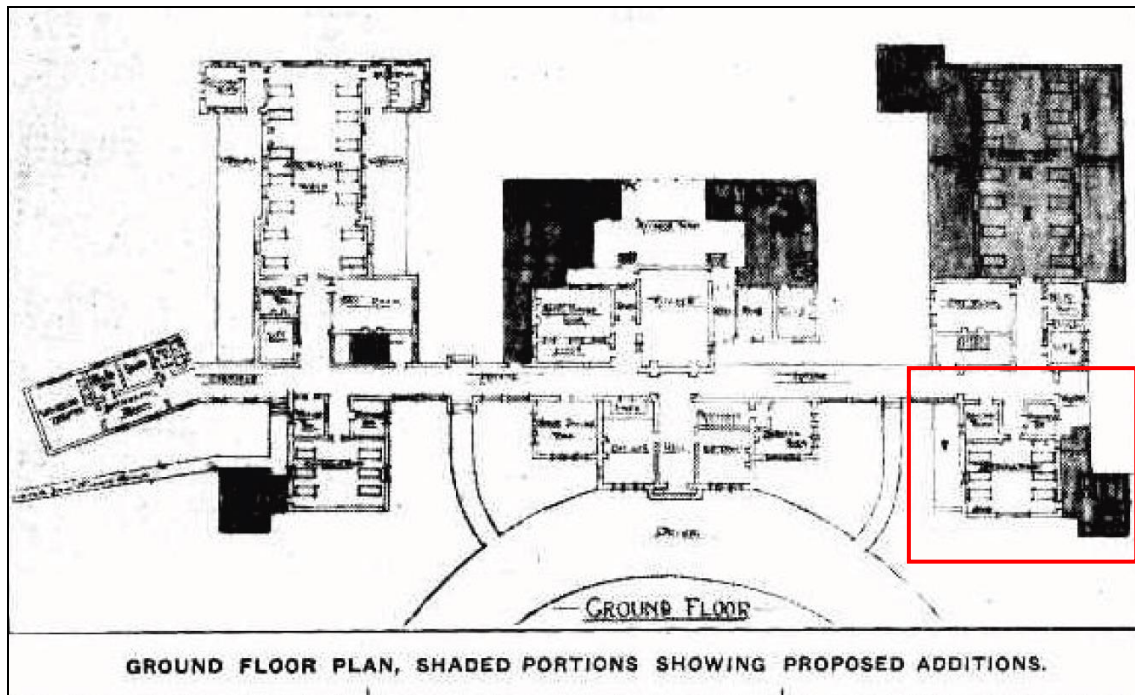


Figure 2.4 Ground floor plan showing the verandah addition on the eastern side of the western pavilion and indicating the proposed additions and ground floor layout of the Hospital and western pavilion at 1924. (Source: Trove, *Goulburn Evening Penny Post*, “Goulburn Hospital Building Fund Appeal”, Saturday 17 May 1924, p. 6)

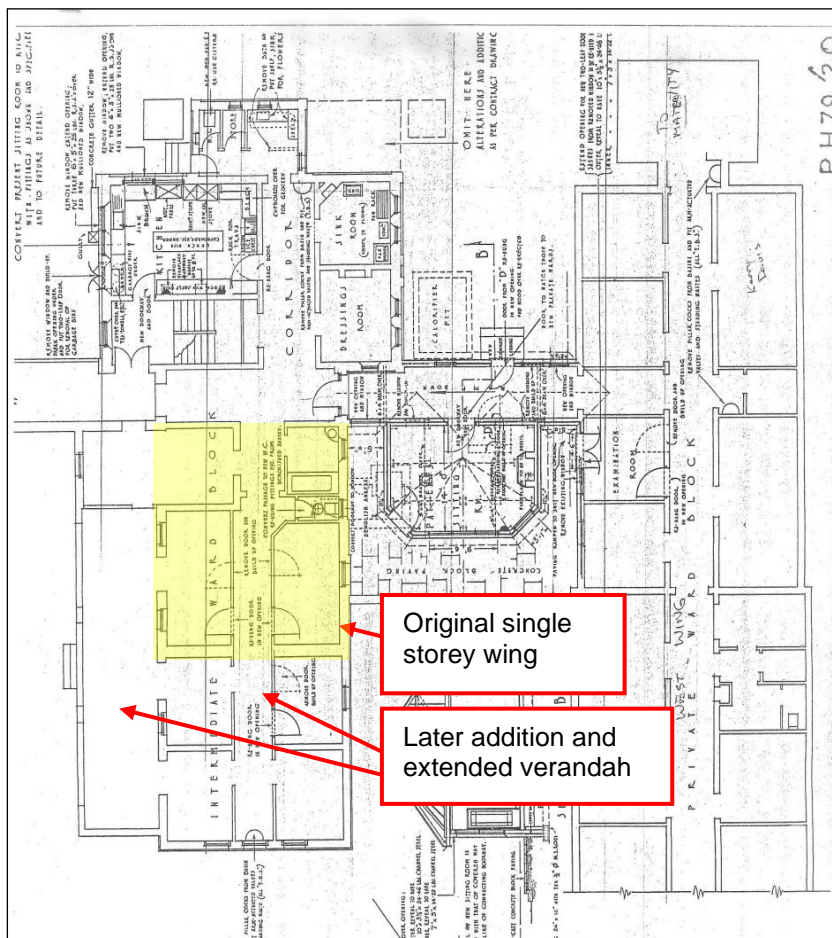


Figure 2.5 Plan dated 1937 showing the new “Patients sitting room”. The plan also shows the new patients ward (at right, now known as the West Wing) and that additions had been undertaken to the single storey wing of the western pavilion by this time.

(Source: Goulburn Base Hospital, NSWLHD Asset Services Operations office, Drawing No: PH79/20 and Plan Services, Office of Finance & Services)

2.4 Major additions and changes, 1960s to the present

Discussions relating to the construction of a new, Hospital building began in the early 1950s, however, it wasn't until 1964 that it was announced that a new multi-storey building would be constructed. Works began in the same year, however, the building was not officially opened until October 1966. The new building, a modern brick and concrete structure of three storeys with prominent five storey tower, accommodated 72 beds (three wards), operating theatres and other much needed facilities.²¹

Major "renovations" were also carried out in c. 1970 and 1972. The works included re-roofing of the old Hospital buildings, including the western pavilion and single storey wing. It is assumed that other changes including the infill of the eastern verandah and porch were added during this period.

The former TB Ward, now Jennings House rehabilitation centre was also extended and re-opened in April 1976. The extension is now the Physiotherapy and Occupational Therapy Centre (proposed Oncology Unit).

Works also followed the preparation of a Master Plan in 1977 that aimed to provide 280 beds.²² The plan shows that the single storey wing of the western pavilion has a porch on the eastern side by this time and was proposed to be used as admin and storage. The Jennings Building and additions were proposed to become the rehabilitation ward and assessment and rehabilitation day care.

Other changes and additions to the Hospital followed, including the construction of offices for the Health Commission (now Community Health Centre) constructed in the north eastern corner (corner of Goldsmith the Faithfull Streets) also in the 1970s. This building has been extended twice since that time.²³

A plan of the Hospital dated 2005 (**Figure 2.6**) shows the layout of the Hospital also the extended western pavilion and indicates that a porch and steps have been added to the eastern side. A site plan indicates that the single storey wing of the western pavilion was used for CT during this period.

The most notable change to includes the construction of a 20 bed ward and rehabilitation building (the Sub Acute Rehabilitation Unit (SARU)) completed in c. 2013. Constructed at the rear of the 1960s block it replaced the earlier laundry and domestics block. The plan also shows the square footprint and layout of the addition to the Jennings Building used by the Physiotherapy and Occupational Therapy.²⁴

A plan prepared in relation to the new Clinical Service Building (now nearing completion, (**Figure 2.7**) also shows further changes and development of the site and various buildings.

Today it is clear that the buildings have continually been upgraded and replaced to ensure that the Hospital remains a functional facility with a range of medical and associated services. Works are ongoing so that the site can continue to operate in an efficient, up-to-date, compliant and viable manner for the local and wider region into the future.

²¹ Tazewell, S.J., *Grand Goulburn, First Inland City of Australia A Random History*, (1991), p. 50, Trove, *The Canberra Times*, "Goulburn Hospital Extension" Wednesday 22 April 1964, p. 11 & *The Canberra Times*, "Hospital Wing Plans Ready" Monday 13 January 1964, p. 8.

²² Tazewell, S.J., *Grand Goulburn, First Inland City of Australia A Random History*, (1991), p. 50 & Mr Anthony Larkin & drawings from Assets office, Trove, *The Canberra Times*, "Goulburn hospital runs into problems", Wednesday 26 August 1970, p. 7 & *The Canberra Times*, "Hospital", Saturday 29 April 1972, p. 3 & Plan Services, Office of Finance & Services, PH79/185 & PH79/91 & GBH, SNSWLHD Asset Services Operations Office, Masterplan drawing prepared by Yuncken & Freeman Pty Ltd, dated June 1977.

²³ Tazewell, S.J., *Grand Goulburn, First Inland City of Australia A Random History*, (1991), p. 50 & Mr Anthony Larkin & drawings from Assets office.

²⁴ SNSWLHD Asset Services Operations and various drawings sourced from the Asset Services office.

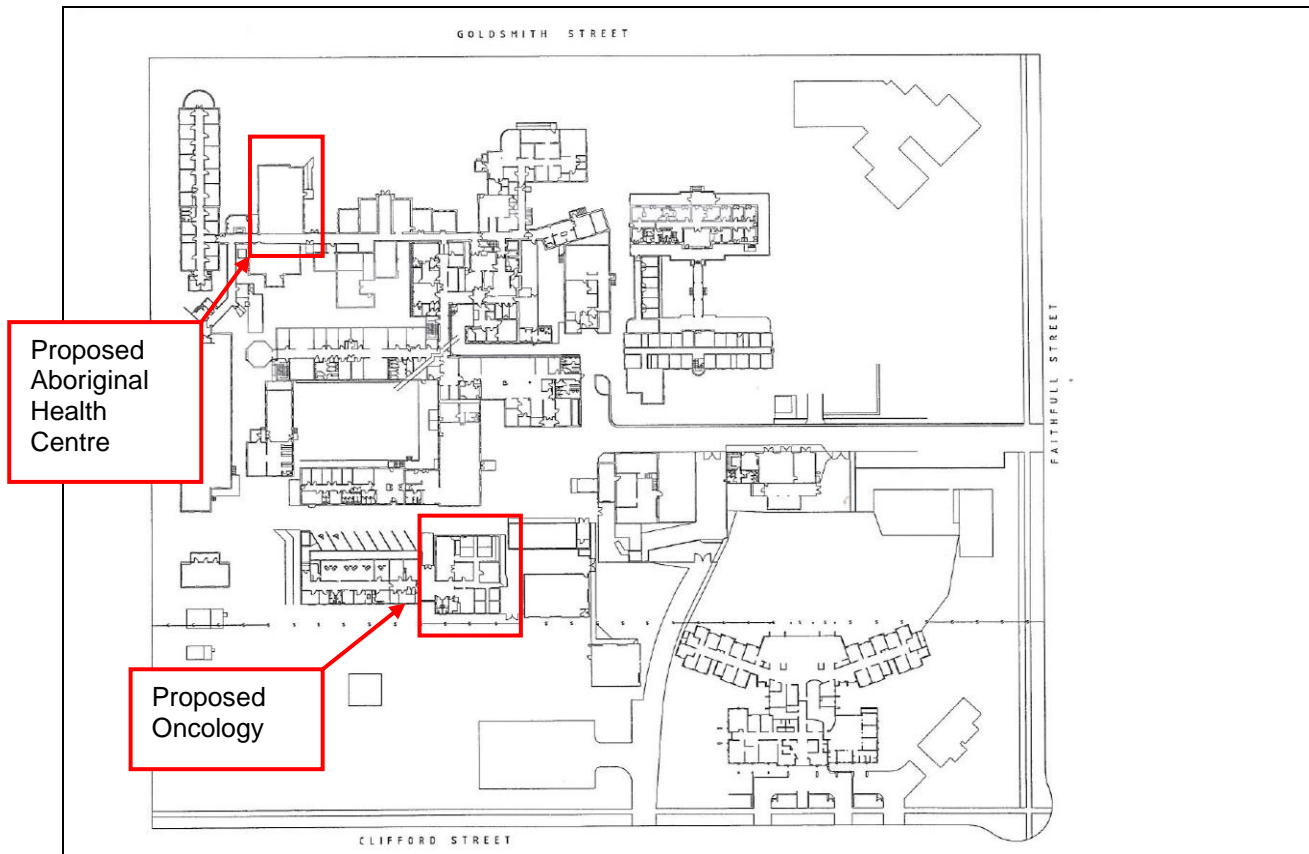


Figure 2.6 Site plan at 2005. (GBH, SNSWLHD)



Figure 2.7 Recent plan indicating changes since 2005 including the footprint of the new Acute Services Building. The current proposed works relate to Buildings annotated as “E” and “V” (STH Architects)

3.0 The existing buildings and context

3.1 The context

Goulburn Base Hospital occupies an entire city block located on the southern side of Goldsmith Street. The site is also bounded by Albert Street to the west, Clifford Street to the south and Faithfull Street the east. Goldsmith Street is a wide, dual carriageway with wide verges and parking on both sides of the street.

This section of Goldsmith Street is predominantly characterised by single storey detached dwellings, mostly dating from the late 19th and early decades of the 20th century and Goulburn High School buildings which is located to the immediate west of the site, on the western side of Albert Street. The School retains a mix of one and two storey buildings that also indicate the staged development of the site. The buildings are generally setback from the Albert Street frontage which has a high, contemporary steel palisade fence, trees and plantings.

Albert, Clifford and Faithfull Streets are also wide dual carriageways. Victoria Park and an Oval are located to the immediate south of the site, on the southern side of Clifford Street. These surrounding streets also have wide, grassed verges and are also predominantly characterised by one and two storey residential buildings with some examples remaining from late 19th century and will some late 20th century infill. The built context is enhanced by trees, including remnant native species and garden settings.

The Hospital currently comprises of the original one and two storey brick pavilions which are now surrounded by a cluster of additions and buildings which indicate the staged development of the site. The 1887 main wing and former entry is highlighted by a curved driveway and a small garden area and lawn which has two mature pine trees and memorial/flagpole. Garden beds including a rose garden with concrete and stone edging and pedestrian access extend along the Goldsmith Street frontage.

The main wing and two storey pavilions are constructed of a locally manufactured face brick with rendered base, stone and brick details hipped and gabled roofs clad in terracotta tiles. The front façade of the main wing retains a parapeted central bay with stone capping and plaque bearing the erection date of 1887 in relief lettering. The building has timber framed double hung windows with arched and flat arch heads and brick corbelling to the eaves. Single storey wings and corridors with walkways over extend from the central main wing to two similarly detailed two storey pavilions. The connecting wings also retain some arched openings and recesses and western wing also retains cast iron lace detail to the walkway balustrade.

The late 20th century (1960s) multi-storey block rises up behind the main original pavilions and occupies the mid-section of the block. The building comprises of three, three and five storey wings and is a concrete and brick structure with flat roof and aluminium framed windows. The northern wing has been constructed to the original building with infill added at ground level to provide connection between the building and eastern pavilion. A brick and glass octagonal structure (originally noted as a solarium) extends from the western wing. The large, modern building and octagonal is located between the original pavilions and subject site. The subject site and early 21st century (c. 2013) ward and rehabilitation building (SARU) are located to the south of this building.

The new Acute Services building and new main entry are located to the east of the main cluster and has been designed to maintain the horizontal lines and relatively low scale of the original buildings. The new building makes use of the fall of this section of the site and features separate Emergency and general hospital access via a lower ground and ground levels. New sealed car parking areas with landscaping have been provided along the Goldsmith Street frontage. An open stair provides a link between the two car parks which also serve separate entries.



Figure 3.1 Goldsmith Street is a wide two-way street with parking on both sides.



Figure 3.2 Dwellings located on the northern side of Goldsmith Street, opposite the Hospital site and part of the conservation area.



Figure 3.3 The Hospital buildings and Goldsmith Street address. The multi-storey 1960s block is a visible addition behind the original brick pavilions. The new additions extend east.



Figure 3.4 A circular driveway and garden remains in front of the early Hospital pavilions.



Figure 3.5 The new Clinical Services Building to the east that is nearing completion.



Figure 3.6 The main building comprises three, two storey pavilions and associated single storey wings and additions which extend from the central pavilion. The original pavilions are face brick with hipped roof clad in tiles and contrasting brick and stone details, timber framed windows with round and flat arched heads and timber doors.



Figure 3.7 The two storey western pavilion and attached single storey wings and connecting link.

Proposed Aboriginal
Health Centre

3.2 The proposed Aboriginal Health Centre

The Aboriginal Health Centre is proposed to be located on the northern, single storey wing of the western pavilion which has direct access from the Goldsmith Street frontage and is also close to the north western of the Hospital site (corner of Goldsmith and Albert Streets).

The wing has been constructed, altered and extended in stages and has face brick walls and details, multi-paned timber framed double hung windows, timber doors and hipped and skillion roof sections clad in tiles and metal sheeting.

A timber ramp on a solid base extends along the north eastern façade to a small elevated concrete porch and entry. The porch, which faces the circular driveway and the central, main Hospital pavilion, has a separate flat roof supported on paired timber posts. A simple timber balustrade also extends between the posts.

The eastern façade has a single door opening (entry) with a multi-paned timber framed glass door, terrazzo threshold and a brick soldier course header and is framed by five window openings with simple brick sills and soldier course headers. Varying brickwork indicates infill and additions. Modern services, air conditioning units and lighting also some signs have also been added to the eastern façade.

The western façade faces an enclosed area that retains the faceted former sitting room constructed in the c. late 1930s. The brick wall also retains evidence of the early extension. A shadow line on the northern facade of the two storey section of the western pavilion also indicates the earlier roof form.

The door on the eastern facade opens into a reception area and corridor that connects to the main hall in the wing that extends north from the main east-west access that connects the original Hospital pavilions.

Internally, the wing has been modified and has timber floors with modern vinyl and ceramic tiled floor finishes, rendered and lightweight walls and plasterboard ceilings with modern coved cornices. The wing also has varying timber joinery, skirtings and architraves and retains some timber panelled doors. The wing has an existing WC with modern finishes, fixtures and fittings and a number of rooms and offices and waiting areas located about the hallways which most recently has been used for CT and as part of the Eye Clinic.



Figure 3.8 Aboriginal Health is proposed to be located within the single storey wing of the western pavilion. The wing is connected to the Hospital and has direct street access. A sealed path extends from the Goldsmith Street frontage to the entry on the eastern side, facing the central Hospital pavilion.



Figure 3.9 The western façade currently faces an enclosed area and the faceted former sitting room/ kiosk (pyramidal roof mid shot) constructed in the c. late 1930s.



Figure 3.10 The northern façade of the two storey wing of the western pavilion and western façade of the single storey wing indicate previous changes, alterations and additions.

Shadow indicating the original roof form

Varying brickwork indicating the addition



Figure 3.11 The northern wall which is part of the addition constructed by 1937.



Figure 3.12 The eastern façade of the single storey wing which has an external entry with a simple single door and porch.



Figure 3.13 The western pavilion. The single storey wing (at right) extends from the main east-west access connecting the original Hospital pavilions.

The access is also connected to the new main entry and Clinical Services Building further east.



Figure 3.14 The existing external entry. Varying brickwork on the façade indicates additions and infill of the former verandah spaces.

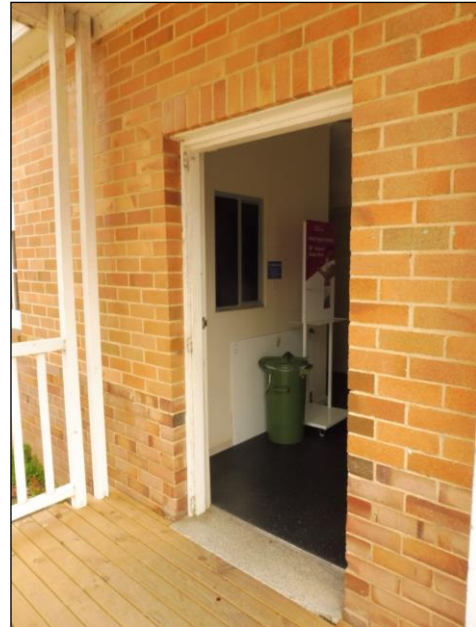


Figure 3.15 The existing external opening opens into a waiting area (infilled and extended former verandah) which has simple and modern finishes and details.



Figure 3.16 View of the existing eastern waiting area looking north (toward Goldsmith Street). Modern services have also generally been added to the wing.





Figure 3.17 Various openings have been made in the walls. Modern WCs and service areas are located at the northern end of the wing.



Figure 3.18 The secondary hall. The base of the southern wall (at left) retains the plinth and evidence that this was formerly an external wall (original northern façade).



Figure 3.19 The central corridor that extends north of the main east/ west access and link connection the original Hospital pavilions. The interior has generally been modified and is simply finished and retains some timber panelled doors.



Figure 3.20 Typical space.



Figure 3.21 Modern finishes and services have generally been added. An original small window remains on the western wall (WC at left).



Figure 3.22 View of the main corridor looking south toward the main east-west access and connection to the Hospital pavilions and new Clinical Services Building.





Figure 3.23 Existing openings and services near the junction with main east-west access.



3.3 Proposed Oncology Unit (Physiotherapy and Occupational Therapy)

An Oncology unit is proposed to be located within the addition to Jennings House. Jennings House is a single storey face brick building with gabled and flat roof sections clad in terracotta tiles and steel sheeting and timber and aluminium framed windows and doors. The building comprises two sections and was also built in two stages (c. 1956 and c. 1976.).

Located in the south western section of the site the building is setback from the main cluster of buildings. Sealed access, paths and landscaping are located between the buildings. A sealed car parking area accessed from Albert Street is located to the west. An open grassed area and car park accessed from Clifford Street are located to the immediate south of the building.

The addition is elevated over a concrete base and has a flat roof clad in metal sheeting. The main entry is located at the junction with the earlier Jennings wing. A secondary access is accessed via an elevated concrete ramp that extends up the eastern facade. Internally the building is simply finished and has a concrete floor with carpet and vinyl finish, face, painted brick and lightweight walls and partitions, plasterboard and acoustic sheeted ceilings supported on exposed beams.



Figure 3.24 The Jennings Building and addition which is proposed to be converted for use by Oncology is located to the south of the main Hospital buildings.



Figure 3.25 The west and southern facade of the Jennings Building/ Renal Unit and addition proposed to be converted for use by Oncology.



Figure 3.26 The building is a modern brick structure on a concrete base with flat roof clad in metal sheeting and aluminium framed windows and doors.



Figure 3.27 The building is setback from the main cluster of Hospital buildings (mid shot) and Workshops to the immediate east (at right).

The eastern façade has timber framed windows and a secondary entry/ exit.



Figure 3.28 A ramp extends along the eastern façade to a separate entry.



Figure 3.29 Part of the northern façade and paths between the building (at right) and SARU building (at left).



Figure 3.30 The entry which is located at the junction of the earlier Jennings Building (c. 1956) and the addition (c. 1976) has a modern steel framed canopy.



Figure 3.31 The entry has modern aluminium framed windows and doors and simple, modern finishes.



Figure 3.32 The existing reception and office area.



Figure 3.33 Corridor extending from the reception to the existing physiotherapy and occupational therapy rooms and offices.



Figure 3.34 The central areas which has modern finishes and details.





Figure 3.35 Corridor accessing the existing northern spaces.



Figure 3.36 The existing therapy areas.



Figure 3.37 Existing offices.





Figure 3.38 A wide opening accesses the Jennings wing which is also simply finished and has been previously upgraded and has modern linings and details.

3.5 Summary analysis of the site and buildings

The documentary and physical analysis above indicates that the Goulburn Base Hospital site has evolved since its establishment in 1887.

The initial development of the site included the two and then three two storey pavilions and attached single storey wings and connections constructed in 1887-1890. The Hospital originally occupied a 5 acres site with main address to Goldsmith Street. The building was setback from the street frontage with sweeping circular driveway, timber fences, garden and plantings located between. The site was subsequently expanded and construction of an attached single storey operating theatre and pathology wing and detached isolation ward followed various minor modifications and additions to the main building.

Works to the main building in the 1920s were followed by the construction of a detached two storey Nurses' Home on the extended portion of the site. Inadequate accommodation for nurses and staff continued to be a problem so the first Nurses' Home was supplemented by another Nurses' Home (Lady Grose House) constructed in 1938 to its immediate south and connected by a covered walkway. An addition was constructed to the south western corner of Lady Grose House in c. 1955 and both wings were connected by another two storey brick building (the George Gerathy Wing) in the 1960s. Changes in the provision of on-site accommodation resulted in the conversion of use of the Nurses' buildings and in the recent demolition and replacement with new hospital building and facilities.

Further expansion occurred in the 1930s with the extension of the single storey wing on the northern side of the western pavilion (proposed Aboriginal Health) and construction of new sitting room and semi-detached private wards to its west.

The private wards wing, known as the West Wing, was subsequently extended in the late 1930s and early 1940s when a curved "solarium" was added to the northern end.

The expansion of the West Wing was followed by the construction of the Maternity Wing and detached Mortuary (now Antenatal Clinic) also in the late 1940s.

Further works were carried out to the main building in the 1940s with the addition of a new kiosk to the east of the main entry in the late 1930s/ early 1940s and in 1942 with the addition of a new Children's Wing. This wing, which was located close to the Goldsmith Street address and entry was subsequently modified and converted for use as the entry, administration and medical records and had also now been removed and replaced with a new main entry and new Clinical Services Building.

Expansion of the hospital facilities continued in the 1950s with the construction of a number of single storey, utilitarian buildings designed by the Government Architect's Office including the Zella Fife building and attached Margaret Tustian Annexe also the TB Ward (now Renal Unit/ Jennings House), substation building, Boiler House (now Asset Management) and Workshop building. Other facilities and buildings included a laundry and domestic block and Medical Superintendent's Residence, however, these have since been demolished.

The 1960s perhaps brought about the most significant change with the construction of a new multi-storey building in 1964-1965. Also designed by the Government Architect's Office it was located immediately behind the main, original structure and replaced a number smaller buildings and additions in this area including the Boiler House and large brick chimney stack. It would appear in addition to the provision of new facilities and wards the eastern pavilion was also modified and upgraded to connect into the new structure.

During the 1970s and 1980s major "renovations" of the existing buildings and facilities were undertaken and included the removal of the original slate roofing and brick chimneys of the original three pavilions and associated wings in c. 1972. It is assumed that other changes to the single storey wing of the western pavilion were also undertaken during this period.

Jennings House and rehab centre was also extended and re-opened in 1976. The extension is now proposed to be converted for use by the Oncology unit.

Whilst the site had been expanded in 1889, the eastern side of the site remained relatively undeveloped to the 1980s. Staff parking had also been formed to the east of the Nurses' Homes. However, following the preparation of a Master Plan and assessment in the late 1970s the Community Health Centre was constructed in the north eastern corner of the site. The original structure has since been extended twice with the southern wing constructed in c. 2013. A helipad was also provided in the southern section of the site in the 1990s. The Chisholm Ross Centre was constructed in the south eastern corner of the site in 1998. The Centre, which addresses Clifford Street, comprises a number of wings and was extended in c. 2013. The Medical Superintendent's Residence that occupied the south eastern corner of the site was demolished to facilitate the contemporary additions.

In 2012 a new Power and Generator building was constructed in the south western corner of the site. This period also brought another major change with the construction of the new 20 bed ward and rehab facility (SARU) in the mid section of the site in 2013. The construction of this building also necessitated the removal of the laundry and domestics block that was located to the south of the multi-storey 1960s block. It is also assumed that the new service structures and demountable for the Nursing students were provided around this time. The Nurses' school buildings and demountable are currently proposed to be replaced with a new building.

It is clear that the interior of most of the buildings have undergone successive change and modifications as expected to suit changing technologies and ongoing Hospital uses and requirements. The external imagery, character and primary form and fabric of the original three pavilions, however, mostly remains and is discernible despite a number of changes. A sense of the internal layout and some internal features in the two storey pavilions also remain.

4.0 Assessment of Significance

4.1 Assessed significance

The significance of site as indicated on the State Heritage Inventory Database²⁵ relates to the original 1887 building and its historical association with local architect EC Manfred. The Statement of Significance is as follows:

Goulburn Base Hospital is significant locally for the late Victorian style of its central building and pavilions, erected in 1887. The building was designed by the noted Goulburn Architect, EC Manfred.

This is reiterated by Statement of Significance on the Department of Health S 170 Register²⁶ which also notes its contribution to the area:

Of architectural and historical significance as a major institutional work of the local architect EC Manfred. A large Federation period hospital with major streetscape impact on Goldsmith Street in Goulburn.

Goulburn Base Hospital is of local historic, aesthetic and social significance as a purpose built hospital that retains strong evidence of its original establishment on the site and subsequent stages of development which reflect the growth and development of Goulburn and surrounding areas. Although not the first purpose built hospital in Goulburn, the site significantly retains much of the original 1887 building which continues to be a prominent feature of Goldsmith Street. Designed by highly regarded, local architect EC Manfred, it is a good example of a late Victorian style building that despite various alterations and additions retains a strong sense of its early external form, character and fabric, particularly main one and two storey pavilion and two, attached two storey pavilions and associated wings.

The main one and two storey central wing in particular is of high aesthetic and social significance to the local community as a visually prominent, original element of the Hospital that retains original details and fabric. With the curved driveway, which reflects the original access, associated front lawn and two mature trees it makes a positive contribution to the Goldsmith Street streetscape.

The West Wing and other later buildings date from subsequent phases of development and are similarly good, representative examples of Post-war, late 20th and early 21st century buildings that incorporate standard details, materials and construction techniques that are not unique or rare in the local or wider context.

The group of 1950s buildings, including Jennings House are representative examples of simple, single storey, utilitarian and institutional structures designed by the NSW Government Architect's Office. The buildings have been named and have some associational value, however, make limited visual contribution to the site and area and have undergone various upgrades and additions to enable on-going use. The c. 1976 addition is also associated with the Government Architect's Office, however, is a representative example of a late 20th century hospital building that incorporates standard material, details and elements that makes no particular contribution to the site and area.

The various changes to the site and buildings, ongoing upgrades and later additions also represent the requirement for changing and expanding health care services and facilities in the local and wider area.

²⁵ Office of Environment and Heritage, *Goulburn Base Hospital, Central Building, Pavilions*, Database number: 2933144.

²⁶ Office of Environment and Heritage, *Central Building and former Pavilions*, Database number: 3540268.

4.2 Grading of Significance

The Heritage Assessment (PMA 2016) graded the site buildings and elements (as illustrated in **Figure 4.1**). The subject buildings were graded and are considered to be of Little cultural significance.

Some buildings and elements have been removed and demolition of structures around the subject area has also now been approved. An upgraded summary is as follows:

Grading	Buildings, Elements and Spaces
Exceptional	<ul style="list-style-type: none"> ▪ The one and two storey central pavilion and its presentation and imagery as presents to Goldsmith Street.
High	<ul style="list-style-type: none"> ▪ The entry loop/ curved driveway and forecourt including two mature trees on the Goldsmith Street frontage; ▪ the two, two storey eastern and western pavilions and connecting east-west corridor and single storey wing at the rear of the main/central pavilion; also ▪ the front setback and forecourt area, but not the low planting or garden beds along Goldsmith Street;
Moderate	<ul style="list-style-type: none"> ▪ The early single storey wing (part of the existing Pharmacy) at the rear of the main wing; ▪ part of the early addition (kinked wing, c. 1919); ▪ Native mature trees along the Faithfull Street frontage and row of trees at the north eastern end of Albert Street.
Little	<ul style="list-style-type: none"> ▪ The garden edging and fences around the site which relate to later periods of development and associated trees and planting along the Goldsmith Street frontage; ▪ the infilled verandah and enclosed, enlarged verandah on the eastern façade of the eastern pavilion and infill connection to the west side of the eastern pavilion; ▪ the single storey wing, infilled verandah and additions to the western pavilion; ▪ the additions to the eastern pavilion and existing kiosk structure; ▪ the 1960s block including the three and five storey wings and attached solarium at the western end and stair at the eastern end; ▪ the West Wing; ▪ the Maternity wing and associated entry, canopy and attaching enclosed passageways; ▪ the Antenatal Clinic; ▪ the Zella Fife and Margaret Tustian Annexe and associated demountable; ▪ Jennings House and Physio and Occupational Therapy addition; ▪ the Pathology Addition; ▪ the Community Health Building; ▪ the Chisholm Ross Centre;

Grading	Buildings, Elements and Spaces
Little continued	<ul style="list-style-type: none"> the helipad and associated pathways; the Power Generator room, earlier substation and other service elements around the site; recent landscaping and planting; and the various roads and driveways accessing the site and sealed car parking areas.
Intrusive	<ul style="list-style-type: none"> Service elements on the Goldsmith Street frontage and near the existing main entry to the site.

Proposed Aboriginal Health

The single storey, north extending wing (CT, **Figure 4.1**) has been identified as being of Little cultural significance.

The wing retains some walls and details of the original (c. 1890s) structure, however, has been affected by various alterations and additions which occurred as follows:

- c. 1914 – addition of an open verandah on the eastern side and alteration of an opening;
- 1924-1937 – additions to the northern end and extension of the verandah on the eastern side. A new roof is also assumed to have been added at this time;
- 1972 – recladding of the roof;
- Late 20th century – infill of the verandah and addition of a porch on the eastern side;
- By 2005 – addition of steps along the eastern side (now a timber ramp).

The single storey scale and brick structure relates to the early character and details of the western pavilion. The wing is located close to the Goldsmith Street frontage and despite the changes, makes some visual contribution to the Hospital pavilions and Goldsmith Street frontage.

The early external brick walls and some openings and details, including the plinth and window openings remain and should be retained. However, the interior has also been upgraded and modified and now has typical and standard finishes and details that are not unusual or rare. The floor, walls and ceilings have been altered and works would have also impacted on the potential for any early resources in building cavities.

Proposed Oncology

Jennings House and the later addition which is proposed to be converted for use by Oncology has been rated as being of Little cultural significance.

The building is associated with the Government Architect's Office, however, is part of the later additions to the Hospital. The buildings are simple and utilitarian structures of no particular architectural merit and make no particular visual contribution to the site or surrounding streetscapes.

The building incorporates typical and standard form, materials and details which are not unusual or rare and do not have the potential to reveal any new information that is not available elsewhere.

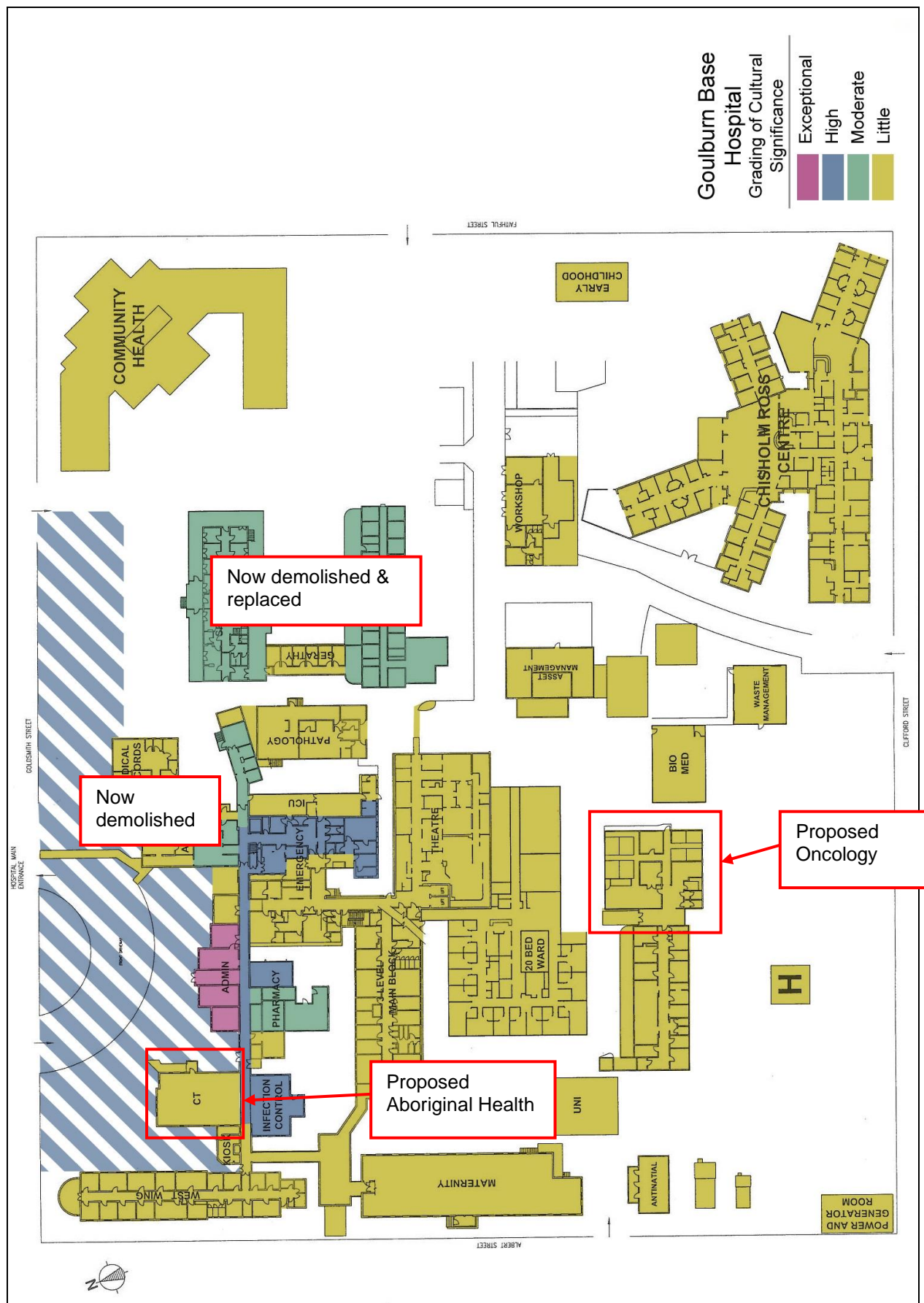


Figure 4.1 Grading of significance diagram.

5.0 Description of the proposal

It is currently proposed to provide a new Aboriginal Health Centre and Oncology Unit within existing Hospital buildings as detailed in the architectural drawings prepared by STH Architects.

Aboriginal Health Centre

It is proposed to undertake internal alterations and additions to the existing single storey (northern) wing of the western pavilion.

The proposed works are intended to work with the existing layout and provide a new waiting area with access WC, consult room, interview room, kitchen and a meeting room.

The existing single storey height, form and scale including the existing hipped and flat roof section and existing roof claddings are proposed to be retained with no change.

The existing external entry and access from Goldsmith Street and relationship to the Hospital building and entries will be retained.

The existing external brick walls, including the existing external face brick finish, existing timber framed windows (and openings) and the existing external door opening, porch and ramp are also proposed to be retained.

The proposed works are restricted to the north extending wing and are largely internal and can be summarised as follows:

- new paint finish to the external access ramp balustrade/ posts;
- re-hinge the existing external door on the eastern side to comply with access provisions;
- enlargement of the existing openings of the western wall in the existing north eastern waiting room and removal of the two associated WCs and provision of an access WC and compliant door opening;
- provision of a new kitchen area in the existing reception;
- provision of new fitout and furniture to the waiting area;
- infill on two internal openings and removal of some internal doors and lightweight partitions and linings to walls and provision of new fitout and communications equipment to create a new meeting room in the south eastern corner of the wing. The existing wider door opening and doors to the main east-west corridor will be retained with new locks provided;
- alteration of the existing door opening, addition of a new door opening and new doors and fitout to create a new consult room and adjoined interview room in the north western corner;
- upgrade of the existing single WC ceiling. The existing window will be retained; and
- replacement of the existing new cat and kitten doors at the southern end of the main corridor and connection to the main east/west access connecting the existing Hospital pavilions and new Clinical Services Building.

The alterations and fitout incorporate contemporary finishes and details including new carpet and vinyl floor linings and plasterboard bulkheads and infill. Existing ceilings and cornices and details will be retained where possible. New services will be surface mounted.

No changes are proposed to the external building materials or colours. A contemporary colour scheme to complement the existing building and finishes is proposed internally.

Proposed Oncology

The existing single storey scale and external form and details of the c. 1976 addition to the Jennings building is proposed to be retained.

The existing canopy and entry at the junction of the two sections of the building (northern façade) and secondary door opening on the eastern façade, also the existing window openings windows and doors are proposed to be largely retained.

The proposed works are largely internal and can be summarised as follows;

- provision of a removable film to the internal face of two windows on the northern façade;
- replacement of the existing timber framed windows on the eastern façade;
- removal of some existing brick and lightweight partitions walls and screens and addition of new lightweight walls and partitions to create a meeting room, interview/ education room and offices, one bed/holding and ensuite, separate treatment bay areas, stores, access and separate WCs, services and utility spaces and a staff station. The existing reception and waiting areas are proposed to be retained and upgraded. An existing cleaners room and an existing room at the eastern end of the Jennings Building are also proposed to be upgraded for use as a cleaners and consult room. New lightweight walls are also proposed to form two new consult rooms adjacent to the waiting area;
- addition of a large window for Treatment Bay 1 (south wall); and
- addition of skylights over the proposed access to the treatment bays and central clean store.

The alterations and fitout incorporate contemporary finishes and details including new carpet and vinyl floor linings and plasterboard partitions and walls. The existing ceilings beams are proposed to be retained.

The external face brick walls and finish are proposed to be largely retained with the existing concrete base, ramp and existing external colours. The new windows are proposed to match the existing. A contemporary colour scheme is proposed internally.

6.0 Assessment of Heritage Impact

The above analysis indicates that Goulburn Base Hospital is of high local significance. The architectural character, form and detail of the 1887 main building and associated eastern and western pavilions and attached wings and connections, front circular driveway and garden setback and open character of the Goldsmith Street frontage make the strongest contribution to the significance of the site and demonstrates the growth and development of Goulburn.

Some other elements such as open spaces around the site boundaries and setback of the larger elements are also of significance. The remainder of the site, buildings and elements have generally evolved and have been developed in accordance with changing requirements, growth and development of the area and changes in the provision of healthcare in the local and wider context, which is typical of Hospital sites throughout NSW.

6.1 Goulburn Mulwaree Local Environmental Plan 2009 & DCP 2009

In accordance clause 5.10 Heritage conservation of the GMLEP 2009:

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or*
- (b) on land that is within a heritage conservation area, or*
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),*

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

The significance of the site largely relates its ongoing use as a Hospital and its historic, aesthetic and social significance and values as a purpose built hospital that retains strong evidence of its original establishment and subsequent stages of development which reflect the growth and development of Goulburn and surrounding area. The architectural character of the original pavilion buildings and their contribution to the Goldsmith Street streetscape and their association with local architect, EC Manfred, has also been noted.

The current proposed new Aboriginal Health Centre and works to the eastern addition to the Jennings building to form a new Oncology Unit will have no more than minimal impact to the affected areas and will have no adverse impact on the overall significance of Goulburn Hospital.

The works are intended and will enhance and improve Hospital uses and services. The Hospital use of the site will continue and its primary historic, aesthetic and social values and original Hospital pavilions and their visual contribution to the Goldsmith Street streetscape and conservation area will be retained.

Aboriginal Health Centre

The proposed works to the existing single storey wing of the western pavilion, to form the Aboriginal Health Centre, will have no impact on the external form or scale of the building.

The existing face brick facades, existing roof and details which contribute to the historic and aesthetic values of the original Hospital pavilions will be retained with no change. Views to and from the existing building will be retained. The highly significant two storey pavilions and particularly the two storey wing of the western pavilion will be able to be appreciated.

The proposed external works are minor and will improve the condition and appearance of the ramp. The existing direct access and entry from Goldsmith Street has been retained.

The proposed internal changes will have no adverse impact on any highly significant fabric or details. The wing has previously undergone alterations and additions and internal upgrades and replacement of building fabric. The wing has also been identified as being of Little cultural significance.

However, the existing internal layout and spatial character, with rooms located about the access halls has been largely retained. Any potential adverse impacts are also reduced by the retention of the original and early brick walls, openings and connections to the main east-west access, visual and physical links with the other Hospital pavilions.

Proposed Oncology

The proposed works to the c. 1976 to the Jennings Building to create a new Oncology unit will have no adverse impact on the significance of the Hospital.

The works are confined to the existing building which is setback and located “behind” and separated from items noted as being of exceptional and high significance. The existing low scale and form of the building will also be retained and will have no material impact or change primary views to the from the exceptional and highly significant elements or their appreciation from Goldsmith Street and site.

The existing Jennings Building and addition is part of the mid to late 20th century period of development of the Hospital and is one of several simple, utilitarian buildings that were provided on the western portion of the site. The building is a representative example of an institutional building that incorporates standard and typical form, materials and details that are not unusual or rare. The building has been identified as being of Little significance and makes no particular visual contribution to the site or surrounding area.

The proposed works are largely internal and will improve the use and amenity of the building. Replacement of the timber framed windows and addition of film to two existing windows also the provision of an additional large window on the southern elevation will have no adverse impact on the scale, form or simple character of the building or site. The new fitout is appropriate to the modern building and will have no impact on any highly significant fabric or details.

Any potential adverse heritage impacts are reduced by the retention of exceptional and highly significant elements on the site. Also retention of primary connections, setbacks and the existing landscaping and mixed built context.

The works are confined to the site and are setback from the Albert and Clifford Street frontages. The existing open green areas and car parks will also be retained. As such it is considered that there will be no adverse impact on the any views or character of the surrounding streetscapes and conservation area.

The Heritage objectives and controls of the GMDCP 2009 largely relates to individual items and buildings, however, in relation to section **3.3.2 Alterations and Additions**:

Controls	Response
<i>A. Avoid changes to the front elevation - locate new work to the rear of, or behind the original building section.</i>	The proposed Aboriginal Health works will have no impact the front elevation of the Hospital. The proposed Oncology unit is proposed in a building that is located “behind” and setback from the original and highly significant Hospital pavilions and elements which will remain intact and highly visible and able to be appreciated.
<i>B. Design new work to respect the scale, form, massing and style of the existing building, and not visually dominate the original building.</i>	The proposed works are confined to the existing buildings and existing single storey scale of both will be retained and continue to be secondary in terms of height and details to the highly significant pavilions.
<i>C. The original roof line or characteristic roof elements are to remain identifiable and not be dwarfed by the new works.</i>	The existing roof lines of the affected buildings and the primary Hospital pavilions will be retained with no change.
<i>D. Retain chimneys and significant roof elements such as gables and finials where present.</i>	No changes are proposed to the highly significant and identified buildings and elements as part of these proposed works.
<i>E. Ensure that the new work is recognisable as new, “blending in” with the original building without unnecessarily mimicking or copying</i>	The affected areas have undergone alterations, additions and upgrades and date from later periods of development. The proposed new works will read as part of the contemporary Hospital upgrades and will highlight and allow the historic fabric to remain visible and able to be interpreted.
<i>F. Complement the details and materials of the original roof including ridge height and slopes without compromising the ability to interpret the original form.</i>	The existing building forms including roofs will be retained. Some skylights are proposed over the Oncology, however, will not be visible and existing building forms will be able to be interpreted.
<i>G. New materials are to be compatible with the existing finishes. Materials can differentiate new work from original building sections where appropriate, for example by the use of weatherboards where the original building is brick or by the use of “transitional” materials between old and new.</i>	The details and materials are considered appropriate and compatible with the existing and surrounding buildings and context and will allow the interpretation between the “old” and “new” on the site.
<i>H. Retain front verandahs. Reinstating verandahs, and removing intrusive changes is encouraged, particularly where there is physical and/ or historic evidence.</i>	The existing porch leading to Aboriginal Health, building entries and ramps will be retained with no change or impact on any highly significant elements and details.

6.2 Heritage NSW criteria

The relevant questions have been considered in detail below.

How is the impact of the new development on the heritage significance of the item and area to be minimised?

The proposed Aboriginal Health and Oncology Units are intended to provide appropriate and up-to-date services that will enhance the Hospital values and contribution to the Goulburn and wider community.

The works will have no more than minimal impact to the buildings and no impact on the cultural significance of the place. Any potential heritage impacts of the proposed works on the significance of the Hospital and conservation area are minimised by:

- the retention of the street layout and subdivision pattern of the area;
- the retention of the existing site boundaries and street frontages;
- the retention of the existing primary setbacks and street verges and street parking;
- the retention of the existing main access and curved driveway, garden area and landscaping in front of the main 1887 Hospital pavilions and overall complex;
- the retention of the elements identified as being of exceptional and high significance;
- by the retention of views to and from the highly significant details;
- the retention of the existing single storey scale and form of the affected buildings;
- by the use of compatible and appropriate materials and details that will not detract from any historic fabric and details;
- by the retention of the existing access, visual and physical links and connections; and
- by the retention of Hospital uses, training and community services on the site.

The ongoing use of the site as Hospital with associated uses and services is considered a positive impact that enhances the significance of the site.

How does the new development affect views to, and from the item? Will the public and users of the item, still be able to view and appreciate its significance?

The proposed works will have no impact on the primary views to and from or appreciation of the significant Hospital pavilions.

The proposed works are largely internal and are confined to the existing single storey wing and modern addition to the Jennings Building.

The northern wing of the western pavilion (proposed Aboriginal Health) has also previously undergone successive alterations and additions and upgrades. However, the existing single storey scale, building form and external fabric will be retained. The main, two storey 1887 pavilions and associated entry, driveway and garden area with other improvements will be retained and continue to be highly visible and appreciated by users of the site and visitors alike.

The proposed Oncology is located in a utilitarian building located “behind” the main Hospital buildings. The low, single storey scale has also been retained and is separated from the main buildings which will also continue to be highly visible from the surrounding streets.

Is the development sited on any known, or potentially significant archaeological deposits?

The site has not been identified in the Goulburn Archaeological Management Plan (2009).

The Hospital buildings appear to be the first buildings constructed on the site. However, the archaeological potential of the subject areas is considered to be low and disturbed by the ongoing alterations and additions and changes to the building and site.

The affected areas incorporate standard construction materials and techniques that are not likely to reveal any new information that is not available elsewhere. The proposed Aboriginal Health wing has also undergone previous alterations and additions and replacement of ceiling and roof linings and claddings which may have impacted on the potential for resources in roof, wall and floor cavities. The proposed Oncology Unit is located in a modern building.

6.3 Conclusion and recommendations

The Hospital has continued to evolve and grow since its establishment in the 1880s. The ongoing development is part of its significance and typical for Hospital sites which are affected by the changing needs and requirements of the local community but also changing and evolving building, clinical and healthcare standards.

The proposed Aboriginal Health and Oncology Unit are considered acceptable from a heritage point of view.

The proposed works will have no more than minimal impact on the affected areas and will have no adverse impact on the cultural significance of Goulburn Base Hospital.

Any potential adverse impacts are reduced by:

- the ongoing use of the site as a Hospital, improvement and provision of appropriate and up-to-date health and community services;
- the retention and no impact on the exceptional and highly significant features and elements on the site;
- by the retention of the single storey scale and form of the affected wings and retention of the existing access, visual and physical links and connections and surrounding open areas;
- by the improvement and upgrade of the affected areas; and
- by the retention of views to and from the buildings no impact on any primary views to and from the site and along the surrounding streetscapes.

On this basis, there should be no objections to the proposed works on heritage grounds.



Goulburn Mulwaree Council
Locked Bag 22
Goulburn NSW 2580

Civic Centre
184 - 194 Bourke Street
Goulburn NSW 2580
t (02) 4823 4444
e council@goulburn.nsw.gov.au
www.goulburn.nsw.gov.au

Contact: Planning & Environment

LJB Urban Planning Pty Ltd
145 Lambeth Street
PICNIC POINT NSW 2213

SECTION 10.7 (2) PLANNING CERTIFICATE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

Receipt No.: 337919
Applicant's Reference: Goulburn Hospital
Certificate No: PLAN/1681/2021

DESCRIPTION OF PROPERTY

Address: Goulburn Base Hospital 130 Goldsmith Street
GOULBURN NSW 2580
Legal Description: Lot 100 DP 1257296 Parish Goulburn

1 Names of relevant planning instruments and DCP's

- (1) The name of each environmental planning instrument that applies to the development on the land.

State Environmental Planning Policies (SEPP)

SEPP No. 21 – Caravan Parks	SEPP (Building Sustainability Index: BASIX) 2004
SEPP No. 33 – Hazardous and Offensive Development	SEPP (Exempt and Complying Development Codes) 2008
SEPP No. 36 – Manufactured Home Estates	SEPP (Housing for Seniors or People with a Disability) 2004
SEPP No. 50 – Canal Estate Development	SEPP (Infrastructure) 2007
SEPP No. 55 – Remediation of Land	SEPP (Mining, Petroleum Production and Extractive Industries) 2007
SEPP No. 64 – Advertising and Signage	SEPP (Koala Habitat Protection) 2020
SEPP No. 65 - Design Quality of Residential Apartment Development	SEPP (State & Regional Development) 2011
SEPP No. 70 – Affordable Housing (Revised Schemes)	SEPP (State Significant Precincts) 2005
SEPP (Concurrences and Consents) 2018	SEPP (Affordable Rental Housing) 2009
SEPP (Primary Production and Rural Development) 2019	SEPP (Educational Establishments and Child Care Facilities) 2017
SEPP (Koala Habitat Protection) 2021	SEPP (Sydney Drinking Water Catchment) 2011
SEPP (Vegetation in Non-Rural Areas) 2017	

Local Environmental Plan (LEP)

Goulburn Mulwaree Local Environmental Plan 2009

- (2) The name of each proposed environmental planning instrument that will apply to the carrying out of development on the land and that is or has been the subject of community consultation or on public exhibition under the Act (unless Secretary has notified the Council that the making of the proposed instrument has been deferred indefinitely or has not been approved).

Draft Amendments to the Goulburn Mulwaree Local Environmental Plan 2009

Draft Goulburn Mulwaree Local Environmental Plan 2009 (B6 Enterprise Corridor and Currawang)

- This amendment only affects: Lot 12 DP 581011, Lot 1 DP 995523, Lot 1 DP 38459, Lots 1 and 2 DP 1196725, Lots 2-6 DP 38459, Lot 22 DP 1113506, Lots 1 and 2 DP 845895, Lots 1 and 2 DP 153553, Lot Y DP 160746, Lot 33 DP 1062014, Lot B DP 152471, Lot A DP 163373, Lot 1 DP 841582, Lot 43 DP 28002, Lot 1 DP 1062993, Lots 1 and 2 DP 28002, Lot B DP 332337, Lot 51 DP 419287, Lot 20 DP 522273, Lot 1 DP 17363, Lots 131,141, 150, 154, 190 and 204 DP750047, Lot 1 DP 1259043, and Lot 1 DP 590583

Draft Goulburn Mulwaree Local Environmental Plan 2009 (Housekeeping Amendments to Local and State Heritage Listed Items)

- This amendment is Local Government Area wide. Refer to the Goulburn Mulwaree Council web site www.goulburn.nsw.gov.au under the "Public Exhibition" section to see if your property is affected.

Draft State Environmental Planning Policies (SEPP's)

Draft Environment SEPP

ISEPP – Amendment – Health Infrastructure

Explanation of Intended Effect - Housing Diversity SEPP

Explanation of Intended Effect – Design and Place SEPP

Explanation of Intended Effect – Agri-tourism and small scale agriculture development

Explanation of Intended Effect – Remediation of Land SEPP

Explanation of Intended Effect – Building Business Back Better (data centres, industrial and commercial development)

Explanation of Intended Effect – Proposed amendments to clause 4.6 of the Standard Instrument LEP

Explanation of Intended Effect – Review of SEPP (Educational Establishments and Child Care Facilities) 2017

Employment Zones Reform (includes a draft amendment to the Standard Instrument Principal Local Environmental Plan (2006) (SI LEP))

For further information please visit the Planning NSW and NSW Planning Portal web sites:

<https://www.planning.nsw.gov.au/Policy-and-Legislation/State-Environmental-Planning-Policies-Review>

<https://www.planningportal.nsw.gov.au/exhibition>

- (3) The name of each development control plan that applies to the carrying out of development on the land.

Goulburn Mulwaree Development Control Plan 2009

- (4) In this clause, proposed environmental planning instruments includes a planning proposal for a LEP or a draft environmental planning instrument.

2 Zoning and land use under relevant LEP's

- (a) The identity of the zone is SP2 Infrastructure

SECTION 10.7 (2) PLANNING CERTIFICATE

under the *Goulburn Mulwaree Local Environmental Plan 2009*.

- (b) The purposes for which the plan or instrument provides that development may be carried out within the zone without the need for development consent.
- (c) The purposes for which the plan or instrument provides that development may not be carried out within the zone except with development consent.
- (d) The purposes for which the plan or instrument provides that development is prohibited within the zone.

The answers for parts (b) to (d) are set out in the land use table below:

Zone SP2 Infrastructure

1 Objectives of zone

- To provide for infrastructure and related uses.
- To prevent development that is not compatible with or that may detract from the provision of infrastructure.

2 Permitted without consent

Roads.

3 Permitted with consent

Aquaculture; The purpose shown on the Land Zoning Map <<https://www.legislation.nsw.gov.au/>>, including any development that is ordinarily incidental or ancillary to development for that purpose.

4 Prohibited

Any development not specified in item 2 or 3.

- (e) Whether any development standards applying to the land fix minimum land dimensions for the erection of a dwelling-house on the land and, if so, the minimum land dimensions so fixed.
No

- (f) Whether the land includes or comprises critical habitat.

No the land does not include or comprise critical habitat.

- (g) Whether the land is located in a heritage conservation area.

The land is within a heritage conservation area, refer to Clause 5.10 of *Goulburn Mulwaree Local Environmental Plan 2009*.

- (h) Whether an item of environmental heritage is situated on the land.

An item of environmental heritage is situated on the land, refer to Clause 5.10 and Schedule 5 of *Goulburn Mulwaree Local Environmental Plan 2009*.

2A Zoning and land use under *State Environmental Planning Policy (Sydney Region Growth Centres) 2006*

Not applicable to the Goulburn Mulwaree Local Government Area.

3 Complying development

Whether or not the land to which the certificate relates is land on which complying development may be carried out under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*?

Housing Code

No. Complying development under the Housing Code cannot be undertaken on the land due to the zoning of the land.

Low Rise Housing Diversity Code

SECTION 10.7 (2) PLANNING CERTIFICATE

No. Complying development under the Low Rise Housing Diversity Code cannot be undertaken on the land due to the zoning of the land.

Greenfield Housing Code

No. Complying development under the Greenfield Housing Code cannot be undertaken on the land due to the land not being within a Greenfield Housing Code Area Map under the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

Inland Code

No. Complying development under the Inland Code cannot be undertaken on the land due to the zoning of the land.

Rural Housing Code

No. Complying development under the Rural Housing Code cannot be undertaken on the land due to the zoning of the land.

Housing Alterations Code

No. Complying development under the Housing Alterations Code cannot be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

General Development Code

No. Complying development under the General Development Code cannot be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Commercial and Industrial Alterations Code

No. Complying development under the Commercial and Industrial Alterations Code cannot be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Commercial and Industrial (New Buildings and Additions) Code

No. Complying development under the Commercial and Industrial (New Buildings and Additions) Code cannot be carried out on the land due to the zoning of the land.

Container Recycling Facilities Code

No. Complying development under the Container Recycling Facilities Code cannot be undertaken on the land due to the zoning of the land.

Note: Complying development can be carried out on any other land under this code, if the conditions of s 5B.2(2) of the *State Environmental Planning Policy (Exempt and Complying Codes) 2008* are satisfied.

Subdivisions Code

No. Complying development under the Subdivisions Code cannot be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Demolition Code

No. Complying development under the Demolition Code cannot be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Fire Safety Code

No. Complying development under the Fire Safety Code cannot be carried out on the land because the land is affected by the following exclusions:

SECTION 10.7 (2) PLANNING CERTIFICATE

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Note. If the land is a lot to which the Housing Code, Rural Housing Code, Housing Alterations Code, General Development Code, Commercial and Industrial Alterations Code or Commercial and Industrial (New Buildings and Additions) Code (within the meaning of the *State Environmental Planning Policy (Exempt and Complying Development Codes)* 2008 applies, complying development may be carried out on any part of the lot that is not affected by the provisions of Clause 1.19 of that Policy.

4B Annual charges under *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works

Not applicable to the Goulburn Mulwaree Local Government Area.

5 Mine subsidence

Whether or not the land is proclaimed to be a mine subsidence district within the meaning of Section 15 of the *Mine Subsidence Compensation Act 1961*.

No.

6 Road widening and road realignment

Whether or not the land is affected by Road widening or road realignment under:

- (a) Division 2 of Part 3 of the *Roads Act 1993*; or
- (b) any environmental planning instrument; or
- (c) any resolution of the Council.

No.

7 Council and other public authority policies on hazard risk restrictions

Whether or not the land is affected by Policy:

- (a) adopted by the council, or
- (b) adopted by any other public authority,

that restricts development of the land because of the likelihood of land slip, bushfire, tidal inundation, subsidence, acid sulphate soils or any other risk (other than flooding)?

No.

7A Flood related development controls information

- (1) Whether or not development on the land or part of the land for the purpose of dwelling houses, dual occupancies, multi dwelling housing or residential flat buildings (not including development for the purpose of group homes or seniors housing) is subject to flood related development controls.

No.

- (2) Whether or not development on that land or part of the land for any other purpose is subject to flood related development controls.

No.

8 Land reserved for acquisition

Whether or not any environmental planning instrument or proposed environmental planning instrument makes provision in relation to the acquisition of the land by a public authority, as referred to in Section 3.15 of the Act?

No.

9 Contribution plans

The name of each contributions plan applying to the land.

Goulburn Mulwaree Local Infrastructure Contributions Plan 2021

The land may be affected by any of the following plans under Section 64 of the *Local Government Act 1993*:

Development Servicing Plan for Water Supply, Sewerage and Stormwater 2017.

9A Biodiversity certified land

If the land is biodiversity certified land under Part 8 of the *Biodiversity Conservation Act 2016*, a statement to that effect.

No. Council is not aware that the land is biodiversity certified under Part 8 of the *Biodiversity Conservation Act 2016*.

Note. Biodiversity certified land includes land certified under Part 7AA of the *Threatened Species Conservation Act 1995* that is taken to be certified under Part 8 of the *Biodiversity Conservation Act 2016*.

10 Biodiversity stewardship sites

If the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the *Biodiversity Conservation Act 2016*, a statement to the effect (but only if the council has been notified of the existence of the agreement by the Chief Executive of the Office of Environment and Heritage).

No. Council has not been notified of a biodiversity stewardship agreement under Part 5 of the *Biodiversity Conservation Act 2016* relating to the land.

Note. Biodiversity stewardship agreements include biobanking agreements under Part 7A of the *Threatened Species Conservation Act 1995* that are taken to be biodiversity stewardship agreements under Part 5 of the *Biodiversity Conservation Act 2016*.

10A Native vegetation clearing set asides

If the land contains a set aside area under Section 60ZC of the *Local Land Services Act 2013*, a statement to that effect (but only if the council has been notified of the existence of the set aside area by the Local Land Services or it is registered in the public register under that section).

No. Council has not been notified that the land contains an area set aside under Section 60ZC of the *Local Land Services Act 2013*.

11 Bush fire prone land

Whether or not some or all of the land is bush fire prone land.

The land or part of the land is not bush fire prone land.

12 Property vegetation plans

If the land is land to which a property vegetation plan approved under Part 4 of the *Native Vegetation Act 2003* (and that continues in force) applies, a statement to that effect (but only if the council has been notified of the existence of the plan by the person or body that approved the plan under that Act).

SECTION 10.7 (2) PLANNING CERTIFICATE

Council is not aware of a property vegetation plan under the *Native Vegetation Act 2003* relating to the land.

13 Orders under *Trees (Disputes Between Neighbours) Act 2006*

Whether an order under the *Trees (Disputes Between Neighbours) Act 2006* has been made to carry out work in relation to a tree on the land (but only if Council has been notified of the order)?

No, an order under the *Trees (Disputes Between Neighbours) Act 2006* has not been made.

14 Directions under Part 3A

Whether there is a direction by the Minister in force under the former Section 75P (2) (c1) of the Act.

No direction is in force.

15 Site compatibility certificates and conditions for seniors housing

If the land is land to which *State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004* applies:

- (a) Whether or not Council is aware of a current site compatibility certificate (seniors housing), in respect of the proposed development on the land.

Council is not aware of any current site compatibility certificates (seniors housing) in respect of proposed development on the land.

- (b) Whether or not any terms of a kind referred to in clause 18 (2) of that Policy that have been imposed as a condition of consent to a development application granted after October 2007 in respect of the land.

No terms referred to in clause 18(2) of *State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004* have been imposed as conditions of consent to a development application for the land granted after 11 October 2007.

16 Site compatibility certificates for infrastructure, schools or TAFE establishments

Whether or not Council is aware of a valid site compatibility certificate in respect of proposed development on the land.

Council is not aware of any valid site compatibility certificate (infrastructure) or site compatibility certificate (schools or TAFE establishments) in respect of proposed development on the land.

17 Site compatibility certificates and conditions for affordable rental housing

- (1) Whether or not Council is aware of a current site compatibility certificate (affordable rental housing) in respect of proposed development on the land.

Council is not aware of any current site compatibility certificate (affordable rental housing) in respect of proposed development on the land.

- (2) Whether or not any terms of a kind referred to in clause 17 (1) or 38 (1) of *State Environmental Planning Policy (Affordable Rental Housing) 2009* that have been imposed as a condition of consent to a development application in respect of the land.

No terms referred to in clause 17(1) or 37(1) of *State Environmental Planning Policy (Affordable Rental Housing) 2009* have been imposed as conditions of consent to a development application in respect of the land.

18 Paper subdivision information

- (1) The name of any development plan adopted by a relevant authority that applies to the land or that is proposed to be subject to a consent ballot.
- (2) The date of any subdivision order that applies to the land.

SECTION 10.7 (2) PLANNING CERTIFICATE

- (3) Words and expressions used in this clause have the same meaning as they have in Part 16C of *Environmental Planning and Assessment Regulation 2000*.

Not applicable.

19 Site verification certificates

Whether or not Council is aware of a current site verification certificate, in respect of the land.

Council is not aware of a current site verification certificate in respect of the land.

20 Loose-fill asbestos insulation

Whether or not the land includes any residential premises (as defined in Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on a register of residential premises that contain or have contained loose-fill asbestos insulation.

No the land has not been identified in the Loose-Fill Asbestos Insulation Register as containing loose-fill asbestos ceiling insulation.

21 Affected Building Notices and Building Product Orders

- (1) Whether or not there is any affected building notice of which Council is aware that is in force in respect to the land.

Council is not aware of any affected building notice that is in force in respect of the land.

- (2) (a) Whether there is any building product rectification order of which Council is aware that is in force in respect of the land and has not been fully complied with.

Council is not aware of any affected building notice that is in force in respect of the land.

- (b) Whether any notice of intention to make a building product rectification order of which Council is aware has been given in respect of the land and is outstanding.

Council is not aware of any intention to make a building product rectification order in respect of the land and is outstanding.

Additional Matters

Note. The following matters are prescribed by Section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) Whether or not the land to which the certificate relates is significantly contaminated land within the meaning of that Act.

The land is not significantly contaminated as at the date this certificate is issued.

Note: The land has been identified as potentially contaminated due to previous uses operating on the land.

- (b) Whether or not the land to which the certificate relates is subject to a management order within the meaning of that Act.

The land is not subject to a management order as at the date this certificate is issued.

- (c) Whether or not the land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of the Act.

The land is not the subject of an approved voluntary management proposal as at the date this certificate is issued.

- (d) Whether or not the land to which this certificate relates is subject to an ongoing maintenance order within the meaning of that Act.

The land is not subject to an ongoing maintenance order as at the date this certificate is issued.

- (e) Whether or not the land to which the certificate relates is the subject of a site audit statement within the meaning of that Act – if a copy of such statement has been provided at any time to the local authority issuing the certificate.

The land is not the subject of a site audit statement as at the date this certificate is issued.

Legislation and Environmental Planning Instruments including *Goulburn Mulwaree Local Environmental Plan 2009* and the *Standard Instrument (Local Environmental Plans) Order 2006* can be found at www.legislation.nsw.gov.au

**SECTION 10.7 (5) PLANNING CERTIFICATE
ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

At the date of this certificate, Council is aware of the following matters affecting the above mentioned land (other than those matters set out in Schedule 4 of the *Environmental Planning and Assessment Regulation 2000*.

A Does the land have frontage to a Classified Road and consequently affected by Clauses 3.3.6, 4.1.7, 6.4.2 and 6.4.3 of *Goulburn Mulwaree Development Control Plan 2009*?

Yes.

B Is the land identified on the Height of Buildings Map and consequently affected by Clause 4.3 of *Goulburn Mulwaree Local Environmental Plan 2009*?

Yes.

C Is the land identified on the Floor Space Ratio Map and consequently affected by Clauses 4.4 and 4.5 of *Goulburn Mulwaree Local Environmental Plan 2009*?

No.

D Is the land located within 50 metres of a zone boundary and consequently affected by Clause 5.3 of *Goulburn Mulwaree Local Environmental Plan 2009*?

Yes.

E Is a permit required from Council to clear vegetation under Part 3 of *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017*?

Yes.

Note: The requirements for approval of vegetation clearing are varied depending on the location and uses of the land and the intention of the clearing. The question above relates only to whether a permit is required from Council under *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017*.

F Is the land identified on the Urban Release Area Map and consequently affected by Part 6 of *Goulburn Mulwaree Local Environmental Plan 2009*?

No.

G Is the land identified on the Terrestrial Biodiversity Map and consequently affected by Clause 7.2 *Goulburn Mulwaree Local Environmental Plan 2009*?

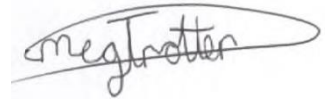
No.

Information regarding loose-fill asbestos insulation

Some residential homes located in the Goulburn Mulwaree local government area have been identified as potentially containing loose-fill asbestos insulation, for example in the roof space. NSW Fair Trading maintains a Register of homes that are affected by loose-fill asbestos insulation.

You should make your own enquiries as to the age of the buildings on the land to which this certificate relates and, if it contains a building constructed prior to 1980, the council strongly recommends that any potential purchaser obtain advice from a licensed asbestos assessor to determine whether loose-fill asbestos is present in any building on the land and, if so, the health risks (if any) this may pose for the building's occupants.

Contact NSW Fair Trading for further information.

A handwritten signature in black ink, appearing to read 'Warwick Bennett', enclosed within a large, loopy oval stroke.

Date of Certificate
30 June 2021

for **Warwick Bennett**
General Manager
Goulburn Mulwaree Council

Notice to Prospective Purchasers/Residents

1. Urban Land and Rural land in the Goulburn Mulwaree Local Government Area

Due to extensive growth and development within and alongside the urban areas of the Goulburn Mulwaree Local Government Area, non-residential land uses including rural areas increasingly adjoin residential developments. These mixed land uses and zones have resulted in the potential for land use conflicts.

Goulburn Mulwaree Council supports the right of persons carrying out legitimate non-residential land use activities on urban land. Furthermore, Council supports the rights of persons to carry out legitimate rural and agricultural uses and practices on rural land.

Council advises that whilst some land use activities will have formal consent from Council and/or other Government Agencies for operations, other activities may not require consent and are undertaken within the objectives of the land use zone.

Council will not support any action that will unreasonably interfere with the existing use or ongoing operation of land uses, particularly where such activities or uses are carried out in accordance with existing approvals, industry standards and relevant legislation. Many farms, businesses and commercial enterprises carry out operations as required, early in the morning or late in the evening. These operations may involve vehicle movements, machinery noise and trade and supply activities which may impact upon the amenity of an area.

Prospective purchasers of land are encouraged to undertake their own enquiries into any operations or activities on adjoining, neighbouring or nearby properties that may cause amenity impacts from noise, dust, odour etc. Intending purchasers are advised that legitimate land uses in urban and rural areas may include, but are not limited to:

Urban activities

Agricultural produce stores; Building trade supply retailers; Childcare centres and schools; Concrete batching plants; Equine training and stabling facilities; Food businesses; Home businesses; Landscape supplies; Medical practices and services; Motor vehicle and/or heavy machinery workshops; Motorsport facilities; Nurseries; Nursing homes and aged care facilities; Petrol stations; Public recreation facilities including aquatic centres, playgrounds and sporting fields; Pubs and clubs; Recycling facilities; Retail suppliers/ shops; Steel fabrication and engineering; Transport depots; Veterinary practices; Vehicle retailers; Waste management facilities; Water and waste water treatment facilities; Wholesalers.

Rural activities

Abattoir operations; Intensive livestock farming; Dairies; Livestock waste disposal systems; Stockyard activities; Animal husbandry practices (castration, dehorning, mulesing etc.); Presence of livestock (noisy animals, including crowing roosters); Livestock movement on Council roads; Clearing and land cultivation; Bush fire hazard reduction burning; Burning of stubble for cropping operations; Construction of fire breaks; Earthmoving including construction of dams, drains and contour banks; Construction of access roads and tracks; Pumping and irrigation; Harvesting operations; Grain receipt operations; Transportation of rural produce; Fodder conservation; Chaff cutting operations; Silage productions; Growing of any agricultural crop or pasture species which may produce detectable aromas or pollens e.g. canola & Lucerne; Slashing and mowing of vegetation; Logging; Spreading of fertilisers, including lime and gypsum; Crop spraying by both aerial and ground operations; Control and eradication of noxious weeds; Authorised measures to control agricultural pests including baiting, ripping, fumigation and shooting; Planting of trees and shrubs for woodblocks, windbreaks etc.; Fencing construction and erection; Tourist facilities; Manufacture and repair of agricultural machinery; Processing of rural commodities; Council Landfill Facilities; Council Sewerage Treatment Works.

Prospective purchasers are encouraged to attend locations of interest during different times of the day to determine the suitability of land for their intended use.

In addition to the above, Council suggests an awareness of rural land management responsibilities, in particular weeds management that accompany ownership.

2. Unauthorised Development

2.1 Background

The need for obtaining approval/consent is an important step in the development process as it ensures that a number of important assessments are carried out prior to the commencement of works. These assessments and their subsequent approvals provide a variety of safeguards for the landowner and the wider community, and therefore ensure the safety of any building/land user and the protection of the environment. Obtaining consent also serves to ensure that third party protections such as insurance remain valid.

In accordance with the *Environmental Planning & Assessment Act 1979*, the term 'development' can be applied to most works, including but not limited to:

- use of land;
- subdivision of land;
- the erection of a building;
- the carrying out of work; and
- the demolition of a building or work.

The following information is provided as a courtesy and is general in nature. It is not to be construed as either town planning or legal advice. It is therefore important that you seek your own professional advice in relation to your rights and obligations in respect of any matters that this advice may raise.

2.2 Common Misconceptions

“Weekenders”

The term “weekender” (i.e. the temporary use of a dwelling for short term accommodation) is not a defined land use within NSW and therefore is not an approved land use under the *Goulburn Mulwaree Local Environmental Plan (GM LEP) 2009*. Therefore, a “weekender” is not considered to be a legitimate building or land use classification. A building is either considered to be a non-habitable structure (i.e. a shed) or a habitable dwelling. Any use of a structure as a dwelling (regardless of frequency of use) is considered to be a dwelling and requires all relevant approvals.

“Weekenders” are sometimes the result of the unauthorised conversion of existing buildings, such as farm sheds, into a building intended for habitation. In circumstances where a building is intended for the purpose of human habitation (for example sleeping, living, meal preparation, ablutions, etc.), the building is classified as a dwelling and must be assessed as a Class 1 structure in accordance with the *Building Code of Australia*. These are the same standards that a dwelling house is constructed to meet.

Furthermore, any form of habitation requires the land to contain a dwelling entitlement (as some lots in rural areas are below the minimum lot size for a dwelling under GMLEP 2009 and do not have a historical entitlement to a dwelling). Council cannot grant approval to a Development Application for a dwelling on land that does not possess such an entitlement. It is particularly important in rural areas to ensure that a lot does enjoy a dwelling entitlement – see Council’s website for a dwelling entitlement enquiry form.

Conversion of Sheds to “Granny Flats”

As with “weekenders”, a “granny flat” is not a defined land use under the GM LEP. The closest land use definition is a secondary dwelling, which requires development consent. Secondary dwellings must be assessed as a Class 1 structure in accordance with the *Building Code of Australia* to ensure the safety, health and amenity of any occupant that may use the structure.

Farm Buildings/Rural Sheds

Provisions exist under the *State Environmental Planning Policy (Exempt & Complying Development Codes) 2008* for some structures to be erected on rural lands without the need for consent. Notwithstanding this, any structure erected under this instrument must meet strict development standards to ensure that minimum environmental and safety requirements can be met. These provisions may be available on land zoned RU1 Primary Production, RU2 Rural Landscape, RU3 Forestry or RU6 Transition.

Importantly this type of development can only proceed where it is ancillary to an agricultural use on the same land holding. "Agriculture" is specifically defined under the GM LEP, and for an activity to be classified as "agriculture", the activity conducted on the land must be a form of *commercial activity* related to aquaculture, extensive agriculture, intensive livestock agriculture or extensive plant agriculture.

Landowners and prospective purchasers are advised that a significant area of the Goulburn Mulwaree Council Local Government Area is located within the Sydney Drinking Water Catchment. As a result, much of the rural area is zoned as "environmental" – i.e. E2 Environmental Conservation, E3 Environmental Management and E4 Environmental Living and therefore prohibits many land uses, such as rural sheds, from being constructed or undertaken without having an appropriate consent in place.

Clearing of Vegetation

Much of the Goulburn Mulwaree Council Local Government Area contains threatened species and various *Endangered Ecological Communities* (EEC's) and *Critically Endangered Ecological Communities* (CEEC's), including but not limited to Grassy Box Woodland, Tallong Midge Orchid, Glossy Black Cockatoo habitat and Koala habitat.

A raft of legislation and plans exist to preserve native vegetation, including but not limited to the *Biodiversity Conservation Act 2016*, *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017*, *State Environmental Planning Policy (Koala Habitat Protection) 2020* and the *Goulburn Mulwaree Development Control Plan 2009*.

It is recommended that professional guidance be sought prior to undertaking any vegetation removal, including destruction of grasslands or when carrying out bushfire protection measures, as thresholds apply and approvals may be required.

Earthworks & Road Construction

Earthworks are defined within the GM LEP as the excavation or filling of land. Some forms of earthworks can be undertaken without consent under the *State Environmental Planning Policy (Exempt & Complying Development Codes) 2008*, however thresholds apply and a number of environmental considerations must be demonstrated.

If not considered or planned appropriately, earthworks can adversely affect neighbours by disrupting or intensifying natural water flow paths, and can cause significant environmental harm by destabilising the structure of the topsoil leading to erosion and soil degradation.

As with earthworks, some roads (both public and private) can be constructed without consent, however, some environmental zones require consent to be obtained first. In addition to drainage considerations, the design and construction of a road must also take into account matters such as the impact upon vegetation, especially if clearing is required, as this may trigger the need for obtaining consent.

Additional considerations apply to the management of sites subject to earthworks or road construction given the presence of the Goulburn Mulwaree Local Government Area in the Sydney Drinking Water Catchment, particularly in relation to erosion and sediment control. Further information can be obtained from either Council or Water NSW.

Enclosure of Existing Carports and Verandahs

Carports and verandahs are often enclosed to provide additional living or storage space via cost effective means. Consent is often required prior to carrying out such works, as consideration needs to be given to a variety of matters. These include an assessment of the structural integrity of the existing structure, as well as ensuring other habitable areas are not adversely impacted, such as living spaces not losing access to light and ventilation. These assessments ensure that following any works the occupants of the building will remain safe, and that the building will continue to function as intended.

2.3 Summary

Council understands that the purchase of land and property is a significant investment, and often the single biggest financial commitment made by many, therefore, it is recommended by Council that you carry out thorough due diligence research prior to committing to a purchase and ensure that:

- The improvements to the land that you are purchasing are authorised/approved.
- Any improvements that you wish to make to the land or any existing buildings, including any new works or alterations, are permissible.

ADDITIONAL INFORMATION THAT DOES NOT FORM PART OF THE CERTIFICATE

In instances where Council is notified of the presence of unauthorised development, Council has a duty of care to the community and potential property buyers to ensure that the appropriate compliance pathway is actioned. In other words, properties that are found to contain illegal/unlawful development on the land will be subject to compliance and enforcement action. This may result in the need to remove any work and any associated infrastructure, the need to restore or rehabilitate land, issuing of Penalty Infringement Notices, or even prosecution. The responsibility for ensuring the relevant approvals are in place is with the current property owner (i.e. responsibility goes with the land when transferred to a new owner).

No responsibility will be taken for purchases made because of advertising content or false/misleading sales pitches, these matters should be addressed with the relevant government licencing agency i.e. NSW Office of Fair Trading.

If in doubt, ask!

Further information can be obtained by contacting Council on 02 4823 4444 or email council@goulburn.nsw.gov.au.

APPENDIX D - Summary of Mitigation Measures

Aspect	Mitigation Measure	Timing
General	The proposal must be carried out generally in accordance with the Review of Environmental Factors dated 29 September 2022 and prepared by LJB Urban Planning on behalf of NSW Health Infrastructure and generally in accordance with the plans/documentation detailed in Section 3.5 above (including accompanying appendices A-D) and by any of the under-mentioned measures.	General measures
Heritage	All works shall be undertaken in accordance with the Heritage Impact Statement prepared by Permual Murphy Alessi dated September 2022.	Prior to and during construction works.
Building Code of Australia	All building work is to be undertaken in accordance with the Building Code of Australia and referenced Australian Standards, including the requirements of AS 1428.1 General Requirements for Access.	General measures
Approvals	The applicant is to obtain all other necessary approvals required by State and Commonwealth legislation and relevant Council policies. A copy of all approvals is to be kept on site.	General measures
Long Service Levy	For works costing \$25,000 or more, a Long Service Levy shall be paid. For further information contact the Long Service Payments Corporation on their helpline 131441.	Prior to commencement of work
Section 6.28	A Section 6.28 approval under the <i>Environmental Planning & Assessment Act 1979</i> is required prior to commencing works.	Prior to commencement of work
Community Notification	Prior to commencement of work, the proponent must notify in writing Council and the occupier of any land within 40 metres of the boundary of the site works. The notification should outline the project, the expected timing for commencement and completion of construction works.	Prior to the commencement of work.
	Where practicable, work programs for noisy work should be coordinated with the hospital, at least two (2) weeks prior to commencement to minimise impacts on their operations.	
	Complaints received prior to and during the undertaking of works shall be recorded and attended to promptly. On receiving a complaint, works shall be reviewed to determine whether issues relating to the complaint can be avoided or minimised. Feedback shall be provided to the complainant explaining what remedial actions were taken.	

Aspect	Mitigation Measure	Timing
	<p>The proponent shall develop a complaints management system and record details of all complaints received and the means of resolution of those complaints. The Complaints Register shall be made available on request.</p> <p>A site notice board must be located at the entrance or other appropriate location on the site in a prominent position and must including the following:</p> <ul style="list-style-type: none"> a) 24-hour contact person for the site; b) telephone, facsimile numbers and email addresses; and c) Site activities and time frames. <p>The site notice must be erected no less than 2 days prior to the commencement of works.</p>	
Hazardous Materials	A Hazardous Materials Survey shall be prepared prior to the commencement of work. All works shall be undertaken in accordance with this survey.	Prior to the commencement of work.
Asbestos Management Plan	Should asbestos be identified in the Hazardous Materials Survey then an Asbestos Management Plan shall be prepared o provide a procedure to control the risk of exposure from asbestos and lead impacted topsoil during the work. All works will be required to be undertaken in accordance with the final Asbestos Management Plan, if one is required to be prepared.	Prior to the commencement of work.
Disposal of any Identified Hazardous Materials and Asbestos	<p>Waste must be transported by an appropriately licensed transporter, and disposed to a facility that is licensed to receive that class of waste. It is recommended that this report is sent to the proposed receiving facility to confirm their acceptance of the material prior to off-site disposal. If the description of the soil differ from that described within, then further assessment for waste classification purposes may be required prior to off-site disposal.</p> <p>SafeWork NSW is to be notified in accordance with the relevant policy prior to work involving asbestos material being undertaken.</p> <p>A Lead Removal Control Plan will be developed and implemented by the contractor. Lead based paint is defined as paint containing more than 1% lead by weight, and is classified as hazardous waste according to EPA NSW 'Waste Classification Guidelines. Part 1: Classifying Waste'.</p>	Prior to the commencement of work and during construction works..

Aspect	Mitigation Measure	Timing
Dilapidation Reporting	Prior to construction, a dilapidation report is to be prepared for hospital, Council, or other assets within the zone of influence of the work.	Prior to commencement of work
Construction Management	<p>A detailed Construction Management Plan is to be prepared prior to the commencement of works and implemented during the undertaking of works. The Construction Management Plan is to include, but not be limited to:</p> <ul style="list-style-type: none"> a) How compliance with the environmental controls and mitigation measures detailed in this REF is to be achieved. b) Construction noise management measures. c) Vibration management measures. d) Sediment and erosion control measures. e) Construction site management measures. f) Construction traffic management measures. g) Air quality and dust management measures. h) Restrictions on hours during construction. i) Unexpected finds protocols. j) Training of responsibilities under National Parks and Wildlife Act 1975, Heritage Act 1977 and any other relevant legislation. 	Prior to commencement of work / During construction
Demolition/Construction Waste Management Plan	<p>A Demolition/Construction Waste Management Plan shall be prepared by an appropriately qualified contractor prior to the commencement of works. The Waste Management Plan should be prepared in accordance with DECCW's "Waste Classification Guidelines (2008)" and the Protection of the Environment Operations Act1997.</p> <p>The Demolition/Construction Waste Management Plan is to include the following requirements and details:</p> <ul style="list-style-type: none"> a) The type and volume of all waste materials (e.g. excavation material, green waste, bricks, concrete, timbers, plasterboard and metals) is to be estimated prior to the commencement of works, with the destination for each waste identified. Waste should be re-used or recycled as much as practicable. Where not practicable, the location of a suitable waste disposal facility is to be identified. b) Cleaning out of batched concrete mixing plant is not permitted within any construction compound. c) Non-recyclable waste and containers are to be regularly collected and disposed of at a licensed disposal site. Frequency of collection should be identified. d) No burning or burying of waste is permitted on the site. 	Prior to commencement of works / During Construction

Aspect	Mitigation Measure	Timing
	<p>e) Any bulk garbage bins delivered by authorised waste contractors are to be placed and kept within the property boundary.</p> <p>The following mitigation measures will be implemented in order to prevent adverse impacts in relation to waste generated by the proposed works:</p> <p>a) No materials will be used in a manner that will pose a risk to public safety and waste generated from the proposed works will be recycled where possible.</p> <p>b) Unnecessary resource consumption will be avoided.</p> <p>c) Non-recyclable wastes will be collected and disposed of or recycled in accordance with Office of Environment and Heritage (OEH) guidelines.</p>	
Services and Utilities	Prior to the commencement of works, any services and utilities that may be impacted by the works are to be appropriately relocated.	Prior to commencement of works
Construction Management	<p>Site Construction site fencing is to be installed around the construction site/ buildings. Vehicle and workforce access points and roads to the construction compounds are to be clearly designated and controlled for authorised access only. Vegetation clearance is to be minimised.</p> <p>The worksite should be left tidy and rubbish free each day prior to leaving the site and at the completion of works.</p> <p>The use and storage of hazardous materials and dangerous goods, including petroleum, distillate and other chemicals, shall be in accordance with the relevant legislation including, but not limited to:</p> <ul style="list-style-type: none"> • Protection of the Environment Operations Act 1997 • Work Health and Safety Regulation 2017 AS 1940 The storage and handling of flammable and combustible liquids • Safe Work NSW Code of Practice—Managing Risks of Hazardous Chemicals in the Workplace. <p>All materials on-site or being delivered to the site must be wholly contained within the site. The requirements of the Protection of the Environment Operations Act 1997 are to be complied with when placing/stockpiling loose material or when disposing of waste products or during any other activities likely to pollute drains or watercourse</p>	Prior to commencement of works / During Construction

Aspect	Mitigation Measure	Timing
	<p>The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances.</p> <p>All equipment and machinery should be secured against vandalism outside of working hours.</p> <p>No batching plant is permitted on the site.</p> <p>A copy of the approved and certified plans, specifications and documentation shall be kept on site at all times and shall be available for perusal by any officer of Council.</p> <p>Any contractor(s) must meet all workplace safety legislation and requirements.</p> <p>No vehicle maintenance is permitted in the demolition and construction areas except in emergencies.</p> <p>Any loose material stockpiles are to be stored within the temporary construction compound(s) and are to be protected from possible erosion.</p>	
Air Quality and Dust Management	<p>Spraying of paint and other materials with the potential to become airborne particulates is only to be undertaken on days with still or light wind conditions.</p> <p>No burning of materials is permitted.</p> <p>Dust generated during construction activities is to be controlled to avoid impact on surrounding properties.</p> <p>All necessary maintenance for construction vehicles and equipment is to be undertaken during the construction period.</p> <p>Excessive use of vehicles and powered construction equipment is to be avoided.</p> <p>Exposed areas are to be progressively revegetated as soon as practical.</p> <p>Vehicle wash down areas are to be established to ensure all mud and soil from construction vehicles is not carried onto public roads.</p> <p>All vehicles involved in any excavation and/or demolition and departing the site with demolition materials, spoil or loose matter must have their loads fully covered before entering the public roadway.</p>	During Construction

Aspect	Mitigation Measure	Timing
	Vehicles, machinery and equipment will be maintained in accordance with manufacturer's specifications in order to meet the requirements of the Protection of the Environment Operations Act 1997 and associated regulations.	
Services	All services and utilities in the area of construction must be appropriately disconnected and reconnected as required. The contractor is required (if necessary) to consult with the various service authorities regarding their requirements for the disconnection of services.	Prior to commencement of works / During Construction
	Where services are found not to be adequate to support the development they shall be appropriately augmented.	
Traffic Management	Existing traffic access and arrangements should be maintained during construction as much as practicable.	During Construction
Contamination (Unexpected Finds)	<ul style="list-style-type: none"> Should any new soil contamination information or contaminants be identified during the undertaking of works which have the potential to alter previous conclusions about site contamination, then the Managing Contractor and HI must be immediately notified and works must cease in the location of the contamination. Works must not recommence until a suitably qualified contaminated land specialist (i.e. a Certified Environmental Practitioner) has investigated and assessed the category of the contamination in accordance with Resilience and Hazards SEPP 2021 (former SEPP 55) and if required prepared a Remediation Action Plan(RAP) which details the necessary remedial work or management required to render the site suitable for the proposed development. Following completion of the remediation, a Site Remediation & Validation Report (SRVR) which documents the completeness of the remedial work is to be submitted to HI and the EPA, if required. Any contaminated materials or hazardous substances that need to be removed from site are to be classified first and then stored, transported and disposed of in accordance with EPA requirements at an EPA licensed waste facility. Asbestos removal and management in NSW is regulated under the Work Health and Safety Act 2011 and Work Health and Safety Regulation 2017. The handling of asbestos 	During Construction

Aspect	Mitigation Measure	Timing
	<p>work must be carried out in accordance with Safework Australia Code of Practice “How to Manage and Control Asbestos in the Workplace” February 2016, including being undertaken by contractors who hold a current Safework Asbestos or Demolition Licence and any other current Safework Licence required.</p> <ul style="list-style-type: none"> • If soils are to be disposed offsite during construction, they are required to be disposed in accordance with the waste classification, subject to additional sampling and analysis. • Construction works should not result in the contamination of the site. • A spill containment kit will be available at all times. All personnel will be made aware of the location of the kit and trained in its effective deployment. • The contractor shall develop a procedure for the management of acid sulfate material (ASM) including identification, testing and treatment of ASM encountered during the works and opportunities for reuse of treated ASM within the site. • Materials will be sourced from licensed quarries and operators. All materials will be certified uncontaminated and environmentally safe. 	
Noise and Vibration	<ul style="list-style-type: none"> • All works will be in accordance with AS-1981: Guide to Noise Control on Construction, Maintenance and Demolition Sites. • Building contractors are to implement the requirements of the Office of Environment “Interim Construction Noise Guideline (July 2009)” as far as practicable. • Construction is to be carried out in accordance with the Building Code of Australia deemed-to-satisfy provisions with respect to noise transmission. • All reasonable, practicable steps are to be undertaken to reduce noise and vibration from the site. • Plant and equipment is to be maintained, checked and calibrated in accordance with the appropriate design requirements and to ensure that maximum sound power levels are not exceeded. • Plant and equipment (where possible) is to be strategically positioned on site to reduce the emission of noise from the site to the surrounding area, users of the site and on-site personnel. 	During Construction

Aspect	Mitigation Measure	Timing
	<ul style="list-style-type: none"> Unnecessary noise is to be avoided when carrying out manual operations and operating plant. Any equipment not used for extended periods is to be switched off. 	
Non-Aboriginal Heritage	<ul style="list-style-type: none"> All personnel working on site will receive training in their responsibilities under the Heritage Act 1977. If any item of European heritage is discovered during works, work shall cease immediately and the project heritage consultant, the relevant Council and/or Office of Environment and Heritage notified. Work shall not recommence until the significance of the find is established. 	Prior to commencement of works / During Construction
Aboriginal Heritage	<ul style="list-style-type: none"> If suspected Aboriginal material has been uncovered as a result of development activities within the Project Area: <ul style="list-style-type: none"> work in the surrounding area is to stop immediately a temporary fence is to be erected around the site, with a buffer zone of at least 10 metres around the knowledge of the site an appropriately qualified archaeological consultant is to be engaged to identify the material, and if the material is found to be of Aboriginal origin, the Aboriginal community is to be consulted in a manner as outlined in the OEH guidelines: Aboriginal Cultural Heritage Consultation Requirements for Proponents(2010). Should Human Remains will be located at any stage during earthworks within the Project Area, all works must halt in the immediate area to prevent any further impacts to the remains. The Site should be cordoned off and the remains themselves should be left untouched. The nearest police station, the relevant Local Aboriginal Land Council and the OEH Regional Office are all to be notified as soon as possible. If Aboriginal cultural materials are uncovered as a result of development activities within the Project Area, they are to be registered as Sites in the Aboriginal Heritage Information Management System (AHIMS) managed by the OEH. Any management outcomes for the site will be included in the information provided to the AHIMS. All effort must be taken to avoid any impacts on Aboriginal Cultural Heritage values at all 	Prior to commencement of works / During Construction

Aspect	Mitigation Measure	Timing
	<p>stages during the development works. If impacts are unavoidable, mitigation measures should be negotiated between the Proponent, OEH and the Aboriginal community.</p>	
<p>Restrictions on Hours During Construction</p>	<ul style="list-style-type: none"> • The undertaking of any construction activity on the subject site is to be limited to the following hours: <ul style="list-style-type: none"> - Monday to Friday inclusive: 7.00am to 6.00pm - Saturdays: 8.00am to 1.00pm - Sundays and Public Holidays: No work permitted. • Entry and departure of vehicles from the site will be restricted to the imposed work hours. • Activities may be undertaken outside of these hours if required. <ul style="list-style-type: none"> - By the police or a public authority for the delivery of vehicles, plant or materials; or - in an emergency to avoid the loss of life, damage to property or to prevent environmental harm. - Where the works are inaudible at the nearest external sensitive receiver, a disruption notice has been issued by the relevant LHD or Hospital and a letter of support has been provided from the relevant LHD or Hospital for the Out of Hours Works. • Consideration will be given to extending these hours to allow for specific work tasks on a case by case basis, subject to approval from Health Infrastructure being sought prior to this occurring and the assessment of any impact of this extension. 	<p>During Construction</p>
<p>Access and Pedestrian Movements</p>	<ul style="list-style-type: none"> • Safe pedestrian access and movement to the hospital and surrounding buildings shall remain unimpeded at all times. • Appropriate signage and directional information shall be provided. 	<p>Prior to commencement of works / During construction</p>

HEALTH INFRASTRUCTURE

Goulburn Hospital – Aboriginal Health Centre and Oncology Unit

Decision Statement for Review of Environmental Factors –
prepared by LJB Urban Planning

21/11/2022

 NSW GOVERNMENT	Health Infrastructure
DETERMINED – APPROVAL	
REF Approval No: 28/2022	
Date: 1/12/2022	
Signed by: 	



Project Details

Project Name	Goulburn Hospital – Aboriginal Health Centre and Oncology Unit
Project Location	130 Goldsmith Street, Goulburn
REF Prepared by	LJB Urban Planning, dated 21 November 2022
Activity Description	<p>This Review of Environmental Factors (REF) relates to proposed restoration and refurbishment works to create a new Aboriginal Health Clinic and Oncology Unit at Goulburn Hospital located at 130 Goldsmith Street, Goulburn (the site). The Proposal involves:</p> <ul style="list-style-type: none">• Restoring and refurbishing Building E to become a new Aboriginal Health Clinic and include consultation rooms, waiting room, meeting room, kitchen and associated amenities.• Restoring and refurbishing Building V to become a new Oncology Unit by creating a new reception area, consultation rooms, oncology bays and associated facilities.• Internal fitout works to both buildings and some new window openings to Building V.

Decision Statement

Based on the REF document, the Recommendation report and any other information and advice from other relevant determining authorities:

- the proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- the proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required
- the proposed activity may proceed subject to the mitigation measures in Schedule 1 below that are required to eliminate, minimise or manage environmental impacts.

Determination

Acting as a delegate of the Health Administration Corporation, and, in accordance with Section 5.5 of the *Environmental Planning and Assessment Act 1979*, having taken into account to the fullest extent possible all matters likely to affect the environment as a result of the proposed activity, and having regard to the Assessment Report, the Statement of Compliance and the Review of Environmental Factors, I hereby determine the Review of Environmental Factors by granting approval subject to the Mitigation Measures in Schedule 1 below.



Rebecca Wark

Chief Executive Health Infrastructure

1 December 2022

Date

Schedule 1

Mitigation measures

The following Mitigation Measures have been imposed to ensure that any development activity is carried out in accordance with the plans/documentation and any amendment approved under Part 5 of the *Environmental Planning and Assessment Act 1979*.

General measures

1. Development in Accordance with Plans and Documentation

The proposal must be carried out generally in accordance with the Review of Environmental Factors dated 21 November 2022 and prepared by LJB Urban Planning on behalf of NSW Health Infrastructure (including accompanying appendices A - D) and generally in accordance with the following plans/documentation as modified below and by any of the under-mentioned measures:

Drawing Title	Drawing Ref	Revision	Date	Prepared by
Oncology Cover Sheet	18483-STH-AR-DWG-00-V1-01	Rev B	3/3/2022	STH Architects
Existing Renal and Physiotherapy Floor Plan	18483-STH-AR-DWG-12-V1-00	Rev B	3/18/2022	STH Architects
Oncology Demolition Plan	18483-STH-AR-DWG-12-V1-01	Rev C	02/10/2022	STH Architects
Oncology Floor Plan	18483-STH-AR-DWG-22-V1-01	Rev B	3/3/2022	STH Architects
Oncology Reflected Ceiling Plan	18483-STH-AR-DWG-30-V1-01	Rev C	02/10/2022	STH Architects
Oncology Fitout Plan	18483-STH-AR-DWG-61-V1-01	Rev C	02/10/2022	STH Architects
Room Layout sheets	18483-STH-AR-DWG-62-V1-01 and sheets 02 - 37	Rev C and D	2022	STH Architects
Oncology Floor Plan Finishes	18483-STH-AR-DWG-63-V1-01	Rev B	03/18/2022	STH Architects
Special Joinery Oncology	18483-STH-AR-DWG-71-V1-01 and sheets 02, 03 and 04	Rev B	05/06/2022, 05/13/2022, 05/11/2022	STH Architects
Aboriginal Health Cover sheet	18483-STH-AR-DWG-00-E1-01	Rev G	08/09/2021	STH Architects
Aboriginal Demolition Plan	18483-STH-AR-DWG-12-E1-01	Rev E	08/09/2021	STH Architects
Aboriginal Health Fitout Plan	18483-STH-AR-DWG-61-E1-01	Rev E	08/09/2021	STH Architects
Room Layouts	18483-STH-AR-DWG-62-E1-001 to sheets 07 and sheets 09 to 13	Rev B and F	08/09/2021	STH Architects

2. Crown Certificate

A Certificate under Section 6.28 of the *Environmental Planning and Assessment Act 1979* is to be obtained prior to any work commencing.

3. Building Code of Australia

All building work is to be undertaken in accordance with the Building Code of Australia and referenced Australian Standards, including the requirements of AS 1428.1 General Requirements for Access.

4. Approvals

The applicant is to obtain all other necessary approvals required by State and Commonwealth legislation and relevant Council policies. A copy of all approvals is to be kept on site.

5. Long Service Levy

For work costing \$25,000 or more, a Long Service Leave Levy shall be paid. For further information contact the Long Service Payments Corporation on their Helpline 131441.

6. Tree Management and Landscape

6.1 No building materials, builder sheds and the like are permitted to be stored under the canopy of existing trees.

Prior to commencement of works

Note: The following Measures are to be complied with prior to the commencement of works on the subject site, and at other stages where stated.

7. Community Notification

- 7.1 Prior to commencement of work, the proponent must notify in writing Council and the occupier of any land within 40 metres of the boundary of the site works. The notification should outline the project, the expected timing for commencement and completion of construction works.
- 7.2 Where practicable, work programs for noisy work should be coordinated with the hospital, at least two (2) weeks prior to commencement to minimise impacts on their operations.
- 7.3 Complaints received prior to and during the undertaking of works shall be recorded and attended to promptly. On receiving a complaint, works shall be reviewed to determine whether issues relating to the complaint can be avoided or minimised. Feedback shall be provided to the complainant explaining what remedial actions were taken.
- 7.4 The proponent shall develop a complaints management system and record details of all complaints received and the means of resolution of those complaints. The Complaints Register shall be made available on request.
- 7.5 A site notice board must be located at the entrance or other appropriate location on the site in a prominent position and must including the following:
 - a. 24-hour contact person for the site;
 - b. Telephone, facsimile numbers and email addresses;
 - c. Site activities and time frames.
- 7.6 The site notice must be erected no less than 2 days prior to the commencement of works.

8. Hazardous Materials

- 8.1 An Asbestos Survey and Management Plan is to be prepared to provide a procedure to control the risk of exposure from asbestos and any lead impacted materials and topsoil during the work.
- 8.2 An unexpected finds procedure is to be included in an overarching Construction Management Plan (CMP) for the work, in the event that other contamination is encountered which have not been identified during this assessment.
- 8.3 Waste must be transported by an appropriately licensed transporter, and disposed to a facility that is licensed to receive that class of waste. It is recommended that this report is sent to the proposed receiving facility to confirm their acceptance of the material prior to off-site disposal. If the description of the soil differ from that described within, then further assessment for waste classification purposes may be required prior to off-site disposal.

- 8.4 SafeWork NSW is to be notified in accordance with the relevant policy prior to work involving asbestos material being undertaken.
- 8.5 Air monitoring devices shall be put in place, around the site, during the demolition. A qualified environmental hygienist shall be on site to supervise the work to ensure the safety of workers and the public are not compromised in anyway. Daily monitoring and results will be taken and analysed to ensure safe air quality levels ensue.
- 8.6 A Lead Removal Control Plan will be developed and implemented by the contractor. Lead based paint is defined as paint containing more than 1% lead by weight, and is classified as hazardous waste according to EPA NSW 'Waste Classification Guidelines. Part 1: Classifying Waste'.

9. Dilapidation Report

Prior to construction, a dilapidation report is to be prepared for hospital, Council, or other assets within the zone of influence of the work.

10. Construction Management

A detailed Construction Management Plan is to be prepared prior to the commencement of works and implemented during the undertaking of works. The Construction Management Plan is to include, but not be limited to:

- a. How compliance with the environmental controls and mitigation measures detailed in this REF is to be achieved.
- b. Construction noise management measures.
- c. Vibration management measures.
- d. Sediment and erosion control measures.
- e. Construction site management measures.
- f. Construction traffic management measures.
- g. Air quality and dust management measures.
- h. Restrictions on hours during construction.
- i. Unexpected finds protocols
- j. Training of responsibilities under National Parks and Wildlife Act 1975, Heritage Act 1977 and any other relevant legislation.

11. Demolition/Construction Waste Management Plan

- 11.1 A Demolition/Construction Waste Management Plan shall be prepared by an appropriately qualified contractor prior to the commencement of works. The Waste Management Plan should be prepared in accordance with DECCW's "Waste Classification Guidelines (2008)" and the Protection of the Environment Operations Act 1997.
- 11.2 The Demolition/Construction Waste Management Plan is to include the following requirements and details:
 - a. The type and volume of all waste materials (e.g. excavation material, green waste, bricks, concrete, timbers, plasterboard and metals) is to be estimated prior to the commencement of works, with the destination for each waste identified. Waste should be re-used or recycled as much as practicable. Where not practicable, the location of a suitable waste disposal facility is to be identified.
 - b. Cleaning out of batched concrete mixing plant is not permitted within any construction compound.
 - c. Non-recyclable waste and containers are to be regularly collected and disposed of at a licensed disposal site. Frequency of collection should be identified.
 - d. No burning or burying of waste is permitted on the site.

- e. Any bulk garbage bins delivered by authorised waste contractors are to be placed and kept within the property boundary.
- 11.3 The following mitigation measures will be implemented in order to prevent adverse impacts in relation to waste generated by the proposed works:
- a. No materials will be used in a manner that will pose a risk to public safety and waste generated from the proposed works will be recycled where possible.
 - b. Unnecessary resource consumption will be avoided.
 - c. Non-recyclable wastes will be collected and disposed of or recycled in accordance with Office of Environment and Heritage (OEH) guidelines.

12. Noise Management Measures

- 12.1 During preparation of the construction program, consult with the hospital to determine what areas (if any) of the hospital is particularly noise sensitive, and at what time (ward rooms, operating theatres, etc.).
- 12.2 Identify feasible acoustic controls or management techniques (use of screens, scheduling of noisy works, notification of adjoining land users, respite periods) when excessive levels may occur.
- 12.3 For activities where acoustic controls and management techniques still cannot guarantee compliant noise levels, implement a notification process whereby nearby development is made aware of the time and duration of noise intensive construction processes.

13. Erosion and Sediment Control

- 13.1 Erosion and sediment controls will be implemented in accordance with the Landcom/ Department of Housing Managing Urban Stormwater, Soils and Construction Guidelines (the Blue Book) and ensure any water diversion or control outlets associated with the works do not result in scouring.
- 13.2 Works will only commence once all erosion and sediment controls have been established. The controls will be maintained in place until the works are complete and all exposed erodible materials are stable.
- 13.3 Erosion and sedimentation controls will be checked and maintained (including clearing of sediment from behind barriers) on a regular basis (including after any precipitation events) and records kept and provided on request.

14. Services and Utilities

Prior to the commencement of works, any services and utilities that may be impacted by the works are to be appropriately relocated.

15. Construction Traffic Management

A Construction Traffic Management shall be prepared in consultation with Council prior to commencement of works.

During construction/undertaking of work

Note: The following Conditions are to be complied with during the approved construction/the undertaking of works.

16. Construction Site Management

- 16.1 Construction site fencing is to be installed around the construction site. Vehicle and workforce access points and roads to the construction compounds are to be clearly designated and controlled for authorised access only. Vegetation clearance is to be minimised.
- 16.2 The worksite should be left tidy and rubbish free each day prior to leaving the site and at the completion of works.

- 16.3 The use and storage of hazardous materials and dangerous goods, including petroleum, distillate and other chemicals, shall be in accordance with the relevant legislation including, but not limited to:
- Protection of the Environment Operations Act 1997
 - Work Health and Safety Regulation 2017
 - AS 1940 The storage and handling of flammable and combustible liquids
 - Safe Work NSW Code of Practice – Managing Risks of Hazardous Chemicals in the Workplace.
- 16.4 All materials on-site or being delivered to the site must be wholly contained within the site. The requirements of the Protection of the Environment Operations Act 1997 are to be complied with when placing/stockpiling loose material or when disposing of waste products or during any other activities likely to pollute drains or watercourses.
- 16.5 The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances.
- 16.6 All equipment and machinery should be secured against vandalism outside of working hours.
- 16.7 No batching plant is permitted on the site.
- 16.8 A copy of the approved and certified plans, specifications and documentation shall be kept on site at all times and shall be available for perusal by any officer of Council.
- 16.9 Any contractor(s) must meet all workplace safety legislation and requirements.
- 16.10 No vehicle maintenance is permitted in the demolition and construction areas except in emergencies.
- 16.11 Any loose material stockpiles are to be stored within the temporary construction compound(s) and are to be protected from possible erosion.

17. Erosion and Sediment Control

- 17.1 Disturbance of sediment during the construction phase of the development and the design management and implementation of pollution controls must be consistent with “Managing Urban Stormwater: Soils and Construction” (NSW Landcom, 2004), (Blue Book), and “approved Methods for the Modelling and Assessment of air pollutants in NSW (EPA)”.to ensure containment of sediment to the immediate work site.
- 17.2 All sediment control measures must be regularly inspected and cleaned out and/or repaired as necessary, and all collected silt disposed of appropriately. Stockpiles should also have adequate sediment control measures in place.
- 17.3 Erosion and control measures are not to be removed until disturbed areas have stabilised.

18. Air Quality and Dust Management

- 18.1 Spraying of paint and other materials with the potential to become air borne particulates is only to be undertaken on days with still or light wind conditions.
- 18.2 No burning of materials is permitted.
- 18.3 Dust generated during construction activities is to be controlled to avoid impact on surrounding properties
- 18.4 All necessary maintenance for construction vehicles and equipment is to be undertaken during the construction period.
- 18.5 Excessive use of vehicles and powered construction equipment is to be avoided.

- 18.6 Exposed areas are to be progressively revegetated as soon as practical.
- 18.7 Vehicle wash down areas are to be established to ensure all mud and soil from construction vehicles is not carried onto public roads.
- 18.8 All vehicles involved in any excavation and/or demolition and departing the site with demolition materials, spoil or loose matter must have their loads fully covered before entering the public roadway.
- 18.9 Vehicles, machinery and equipment will be maintained in accordance with manufacturer's specifications in order to meet the requirements of the Protection of the Environment Operations Act 1997 and associated regulations.

19. Construction

- 19.1 No blasting shall be permitted during construction.
- 19.2 The use of any rock excavation machinery or any mechanical pile drivers or the like is restricted to the hours of 7.00am to 5.00pm (maximum) on Monday to Friday only, to minimise the noise levels during construction and loss of amenity to the surrounding area.

20. Services

- 20.1 All services and utilities in the area of construction must be appropriately disconnected and reconnected as required. The contractor is required (if necessary) to consult with the various service authorities regarding their requirements for the disconnection of services.
- 20.2 Where services are found not to be adequate to support the development they shall be appropriately augmented.

21. Traffic Management

- 21.1 Existing traffic access and arrangements should be maintained during construction as much as practicable.

22. Contamination (Unexpected Finds)

- 22.1 Should any new soil contamination information or contaminants be identified during the undertaking of works which have the potential to alter previous conclusions about site contamination, then the Managing Contractor and HI must be immediately notified and works must cease in the location of the contamination.
- 22.2 Works must not recommence until a suitably qualified contaminated land specialist (i.e. a Certified Environmental Practitioner) has investigated and assessed the category of the contamination in accordance with SEPP (Resilience & Hazards) 2021 and if required prepared a Remediation Action Plan (RAP) which details the necessary remedial work or management required to render the site suitable for the proposed development.
- 22.3 Following completion of the remediation, a Site Remediation & Validation Report (SRVR) which documents the completeness of the remedial work is to be submitted to HI and the EPA, if required.
- 22.4 Any contaminated materials or hazardous substances that need to be removed from site are to be classified first and then stored, transported and disposed of in accordance with EPA requirements at an EPA licensed waste facility.
- 22.5 Asbestos removal and management in NSW is regulated under the Work Health and Safety Act 2011 and Work Health and Safety Regulation 2017. The handling of asbestos work must be carried out in accordance with Safework Australia Code of Practice "How to Manage and Control Asbestos in the Workplace" February 2016, including being undertaken by contractors who hold a current Safework Asbestos or Demolition Licence and any other current Safework Licence required

- 22.6 If soils are to be disposed offsite during construction, they are required to be disposed in accordance with the waste classification, subject to additional sampling and analysis.
- 22.7 Construction works should not result in the contamination of the site.
- 22.8 A spill containment kit will be available at all times. All personnel will be made aware of the location of the kit and trained in its effective deployment.
- 22.9 The contractor shall develop a procedure for the management of acid sulfate material (ASM) including identification, testing and treatment of ASM encountered during the works and opportunities for reuse of treated ASM within the site.
- 22.10 Materials will be sourced from licensed quarries and operators. All materials will be certified uncontaminated and environmentally safe.

23. Noise and Vibration Management

- 23.1 All works will be in accordance with AS2436-1981: Guide to Noise Control on Construction, Maintenance and Demolition Sites.
- 23.2 Building contractors are to implement the requirements of the Office of Environment “Interim Construction Noise Guideline (July 2009)” as far as practicable.
- 23.3 Construction is to be carried out in accordance with the Building Code of Australia deemed-to-satisfy provisions with respect to noise transmission.
- 23.4 All reasonable, practicable steps are to be undertaken to reduce noise and vibration from the site.
- 23.5 Plant and equipment is to be maintained, checked and calibrated in accordance with the appropriate design requirements and to ensure that maximum sound power levels are not exceeded.
- 23.6 Plant and equipment (where possible) is to be strategically positioned on site to reduce the emission of noise from the site to the surrounding area, users of the site and on-site personnel.
- 23.7 Unnecessary noise is to be avoided when carrying out manual operations and operating plant.
- 23.8 Any equipment not used for extended periods is to be switched off.

24. Non Aboriginal Heritage

- 24.1 All personnel working on site will receive training in their responsibilities under the Heritage Act 1977.
- 24.2 If any item of European heritage is discovered during works, work shall cease immediately and the project heritage consultant, the relevant Council and/or Office of Environment and Heritage notified.
- 24.3 Work shall not recommence until the significance of the find is established.

25. Aboriginal Heritage

- 25.1 If suspected Aboriginal material has been uncovered as a result of development activities within the Project Area:
- work in the surrounding area is to stop immediately
 - a temporary fence is to be erected around the site, with a buffer zone of at least 10 metres around the known edge of the site
 - an appropriately qualified archaeological consultant is to be engaged to identify the material, and

- if the material is found to be of Aboriginal origin, the Aboriginal community is to be consulted in a manner as outlined in the OEH guidelines: Aboriginal Cultural Heritage Consultation Requirements for Proponents (2010).
- 25.2 Should Human Remains be located at any stage during earthworks within the Project Area, all works must halt in the immediate area to prevent any further impacts to the remains. The Site should be cordoned off and the remains themselves should be left untouched. The nearest police station, the relevant Local Aboriginal Land Council and the OEH Regional Office are all to be notified as soon as possible.
- 25.3 If Aboriginal cultural materials are uncovered as a result of development activities within the Project Area, they are to be registered as Sites in the Aboriginal Heritage Information Management System (AHIMS) managed by the OEH. Any management outcomes for the site will be included in the information provided to the AHIMS.
- 25.4 All effort must be taken to avoid any impacts on Aboriginal Cultural Heritage values at all stages during the development works. If impacts are unavoidable, mitigation measures should be negotiated between the Proponent, OEH and the Aboriginal community.

26. Restriction on Hours during Construction

- 26.1 The undertaking of any construction activity on the subject site is to be limited to the following hours:
- Monday to Friday inclusive: 7.00am to 6.00pm
 - Saturdays: 8.00am to 1.00pm
 - Sundays and Public Holidays: No work permitted.
- 26.2 Entry and departure of vehicles from the site will be restricted to the imposed work hours.
- 26.3 Activities may be undertaken outside of hours in condition 26.1 and 26.2 if required
- By the police or a public authority for the delivery of vehicles, plant or materials; or
 - in an emergency to avoid the loss of life, damage to property or to prevent environmental harm.
 - Where the works are inaudible at the nearest external sensitive receiver, a disruption notice has been issued by the relevant LHD or Hospital and a letter of support has been provided from the relevant LHD or Hospital for the Out of Hours Works.
- 26.4 Consideration will be given to extending these hours to allow for specific work tasks on a case by case basis, subject to approval from Health Infrastructure being sought prior to this occurring and the assessment of any impact of this extension.

27. Access and pedestrian movements

- 27.1 Safe pedestrian access and movement to the hospital and surrounding buildings shall remain unimpeded at all times.
- 27.2 Appropriate signage and directional information shall be provided.

Prior to commencement of operation

Note: The following Conditions are to be complied with prior to commencement of operation of the facility.

28. Works as Executed

- 28.1 Prior to use of the facility, "Works as Executed" drawings are to be submitted to HI.

Advisory Notes

AN1 Project Compliance – DGN 40

Health Infrastructure (HI) is responsible for ensuring that the conditions of consent are complied with during the course of the delivery of the project. To ensure that HI is complying with its legal obligations, compliance with the requirements of DGN 40 – Compliance with Planning Approval Conditions is required.

Goulburn Hospital – New Aboriginal Health Clinic and Oncology Unit

Project Details

Project Name	Goulburn Hospital – New Aboriginal Health Clinic and Oncology Unit
Project Location	130 Goldsmith Street, Goulburn
REF Prepared by	LJB Urban Planning, dated 21 November 2022
Activity Description	<p>This Review of Environmental Factors (REF) relates to proposed refurbishment works to Building E to become a new Aboriginal Health Clinic and refurbishment works to Building V to become an Oncology Unit at Goulburn Hospital located at 100 Goldsmith Street, Goulburn (the site). The Proposal involves:</p> <ul style="list-style-type: none">• Internal demolition of all fixtures and fittings within Building E.• Fit out and restoration to create a new Aboriginal Health Centre including new kitchen, waiting room, interview room, storage and meeting room.• Internal demolition of all fixtures and fittings within the building currently utilised as a Physiotherapy and Occupational Therapy space and also known as Jennings House.• Fit out and restoration works to create a new Oncology Unit including the provision of new consultation rooms, storage, reception space, oncology bays and associated facilities including some new window openings

NSW Health Infrastructure is proposing the refurbishment and new fit out of Building E and V to create a new Aboriginal Health Clinic and Oncology Unit at Goulburn Hospital under the provisions of *State Environmental Planning Policy (Transport & Infrastructure) 2021* (T&I SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Statement of Compliance demonstrates that the Review of Environmental Factors (REF) for the proposed activity has met the requirements of Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021* (EP&A Regulations).

The REF has identified and considered the following matters:

1. The activity is “development without consent” under the T&I SEPP

The activity:

- Is being undertaken by, or on behalf of a public authority within the boundaries of an existing health services facility;
- is for the development for the purposes of restoring or replacing accommodation or administrative facilities;
- is located in a prescribed zone;
- does not result in a building exceeding 15 metres in height or is located closer than 5 metres to any property boundary (or an addition to a building resulting in the building exceeding that height or being closer than that distance to any property boundary).

2. The notification requirements of the T&I SEPP have been met in accordance with Chapter 2, Division 1, Division 5, and Division 10

- There are no consultation requirements associated with the proposal. The general consultation requirements under Chapter 2, Division 1 of the TISEPP do not apply in this instance.

- The notification requirements under Chapter 2, Division 10 of the TISEPP do not apply to development under Section 2.61(b), which relates to the restoration and replacement of accommodation and administration facilities in two buildings within the Hospital campus as opposed to works that will enlarge, alter and add to the existing hospital.
- Furthermore, consultation was not required under Division 1 (Consultation) in the TISEPP for the following reasons;
 - The works do not affect Council infrastructure and related services;
 - The works will not affect a local heritage item that is more than minor or inconsequential;
 - The works are not being carried out on flood liable land;
 - The works are not located within a coastal vulnerability area; and
 - The works are not considered 'specified development'.
- The notification requirements under Chapter 2, Division 1, 5 and 10 of the TISEPP have been satisfied.

3. The requirements of Section 5.5 of the EP&A Act and Section 171 of the EP&A Regulations have been met:

- Pursuant to Section 5.5(1) of the EP&A Act, the REF has examined and taken into account to the fullest extent possible all matters affecting or likely to affect the environment by reason of the proposed activity.
- The factors to be taken into account under Section 171 of the EP&A Regulation 2021 have been fully considered in the REF in determining the likely impact of the proposed activity on the environment and measures to mitigate potential singular and cumulative impacts associated with the proposed activity have been identified.
- As demonstrated in the completed Section 5.5 checklist (Section 4.3) and Section 171 checklist (Section 6.1), the proposed activity will not have significant effects on the environment or threatened species and as a result, an Environmental Impact Statement is not required before a decision is made whether or not the proposed activity can proceed.

4. Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act)

- The activity will not have any impacts on matters of national significance including impacts on Commonwealth land, listed threatened species, migratory species protected under international agreements, national heritage places, world heritage properties/areas, or Ramsar wetlands of international importance. An approval under the EPBC Act is therefore not required.

5. Approvals, authorisations and notifications under other Acts

- As detailed in the REF, any approvals, authorisations or notifications that are required under other Acts before the activity can proceed have been obtained, or where applicable, have been included in the identified requirements.

Certification

I certify that I have reviewed and endorsed the contents of this REF document, and, to the best of my knowledge, it is in accordance with the *Environmental Planning & Assessment Act 1979* (EP&A Act), the *Environmental Planning & Assessment Regulation 2021* (EP&A Regulation) and the Guidelines approved under Section 170 of the EP&A Regulation, and the information it contains is neither false nor misleading.

Author and endorsements

Author	Position	Date
Larissa Ozog	Senior Planning Advisor	28/11/2022
Endorsed by	Position	Date
Rachel Mitchell	Manager, Planning	28/11/2022